



**CITY COUNCIL WORK SESSION AGENDA  
MONDAY, SEPTEMBER 11, 2023**

**SPRING LAKE PARK CITY HALL, 1301 81ST AVE NE at 5:30 PM**

- 1. CALL TO ORDER**
- 2. DISCUSSION ITEMS**
  - A. City Hall Renovation/Expansion Project (*Buchholtz/Bruce Paulson, Stantec*)
  - B. 2024 Budget Discussion (*Buchholtz*)
  - C. Carport Discussion (*Goodboe-Bisschoff*)
  - D. Emerald Ash Borer Discussion (*Nelson*)
  - E. Statement of Values Update Proposal (*Moran*)
- 3. REPORT**
  - A. Council Member Reports
  - B. Administrator Report
- 4. ADJOURN**

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting the City Clerk at 1301 81<sup>st</sup> Avenue NE, Spring Lake Park, MN 55432. Ph.763-784-6491 at least 48 hours in advance.



# Memorandum

**To:** Mayor Nelson and Members of the City Council

**From:** Daniel R. Buchholtz, MMC, Administrator, Clerk/Treasurer

**Date:** September 7, 2023

**Subject:** City Hall Renovation/Expansion Project Update

Architect Bruce Paulson from Stantec will be attending the September 11 work session to go over the Review Set for the City Hall Renovation/Expansion Project. Staff has included the Review Set for your review.

Also noted in my memorandum dated August 10, 2023, the following is the cost estimate for the project.

Construction	\$ 5,301,600	\$ 1,060,320	\$ 349,906	\$ 6,711,826
Alternate 1	\$ 314,500	\$ -	\$ 17,298	\$ 331,798
FF&E Allowance	\$ 600,000	\$ 120,000	\$ 39,600	\$ 759,600
Cable/Conf. Room Equip.	\$ 125,000	\$ 25,000	\$ 8,250	\$ 158,250
Generator	\$ 60,000	\$ 12,000	\$ 3,960	\$ 75,960
Technology	\$ 300,000	\$ 60,000	\$ 19,800	\$ 379,800
<b>TOTAL</b>	<b>\$ 7,127,800</b>	<b>\$ 1,287,320</b>	<b>\$ 438,813</b>	<b>\$ 8,853,933</b>
<i>Funding Breakdown</i>				
	<u>Cash</u>	<u>Bond</u>	<u>Total</u>	
Soft Costs	\$ 436,700	\$ -	\$ 436,700	
Construction	\$ -	\$ 6,711,826	\$ 6,711,826	
Alternate 1	\$ -	\$ 331,798	\$ 331,798	
FF&E Allowance	\$ -	\$ 759,600	\$ 759,600	
Cable/Conf. Room Equip.	\$ 158,250	\$ -	\$ 158,250	
Generator	\$ 75,960	\$ -	\$ 75,960	
Technology	\$ 379,800	\$ -	\$ 379,800	
<b>TOTAL</b>	<b>\$ 1,050,710</b>	<b>\$ 7,803,224</b>	<b>\$ 8,853,934</b>	

If you have any questions, please do not hesitate to contact me at 763-784-6491.



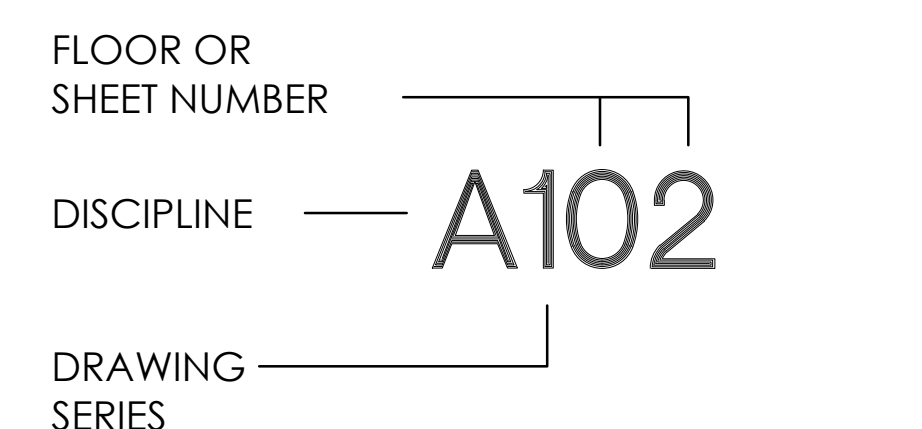
ARCHITECTURAL ABBREVIATIONS

Table of architectural abbreviations organized in columns and rows. Columns include categories like & @ #, A (Anchor Bolt, Access Floor), B (Building Accessory), C (Channel, Cup Dispenser), D (Depth or Deep), E (Existing), F (Fire Alarm), G (Gauge), H (Height), I (ID, IC), J (Janitor), K (Knock Out), L (Angle, Lavatory), M (Middle, Manual), N (Not Applicable), O (On Center), P (Partition), Q (Quarry Tile), R (Radius, Riser), S (Schedule), T (Top, Tackboard), U (Urinal), V (Valve Cabinet), W (Width/Wide), X (Example), Y (Example), Z (Example).

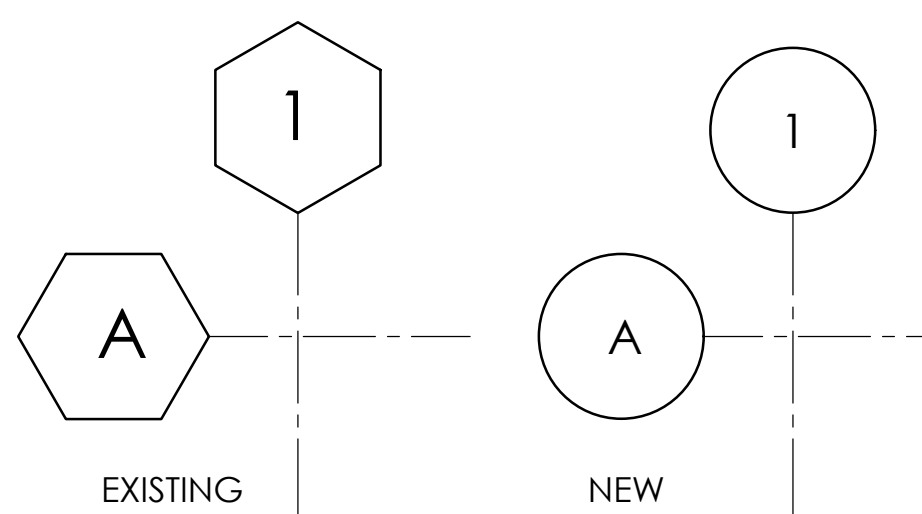
INDICATION OF MATERIALS

Table showing material patterns and their corresponding names: GRADE, WOOD (FINISH), EARTHWORK FILLS, WOOD BLOCKING OR FRAMING, CONCRETE - CAST IN PLACE/PRECAST, PLYWOOD, TERRAZZO, INSULATION, BRICK, METAL, STONE, ACOUSTICAL MATERIAL, CONCRETE MASONRY UNIT, EXPANSION MATERIAL, TILE (CERAMIC OR QUARRY), CARPET, PLASTER, SAND, GYPSUM BOARD, PARTICLE BOARD.

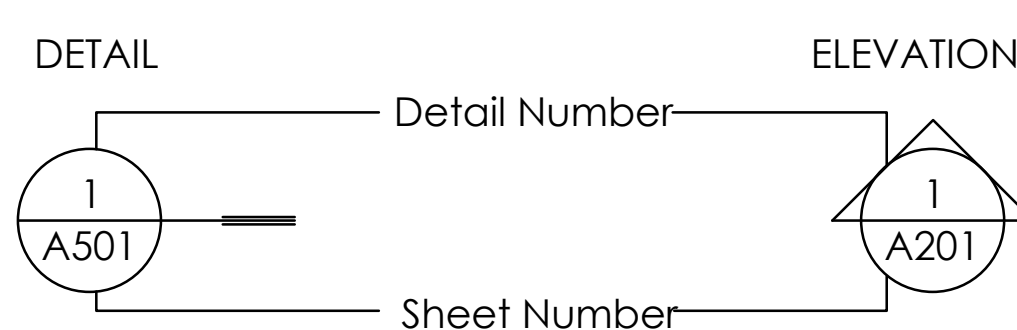
DRAWING SHEET NUMBERS



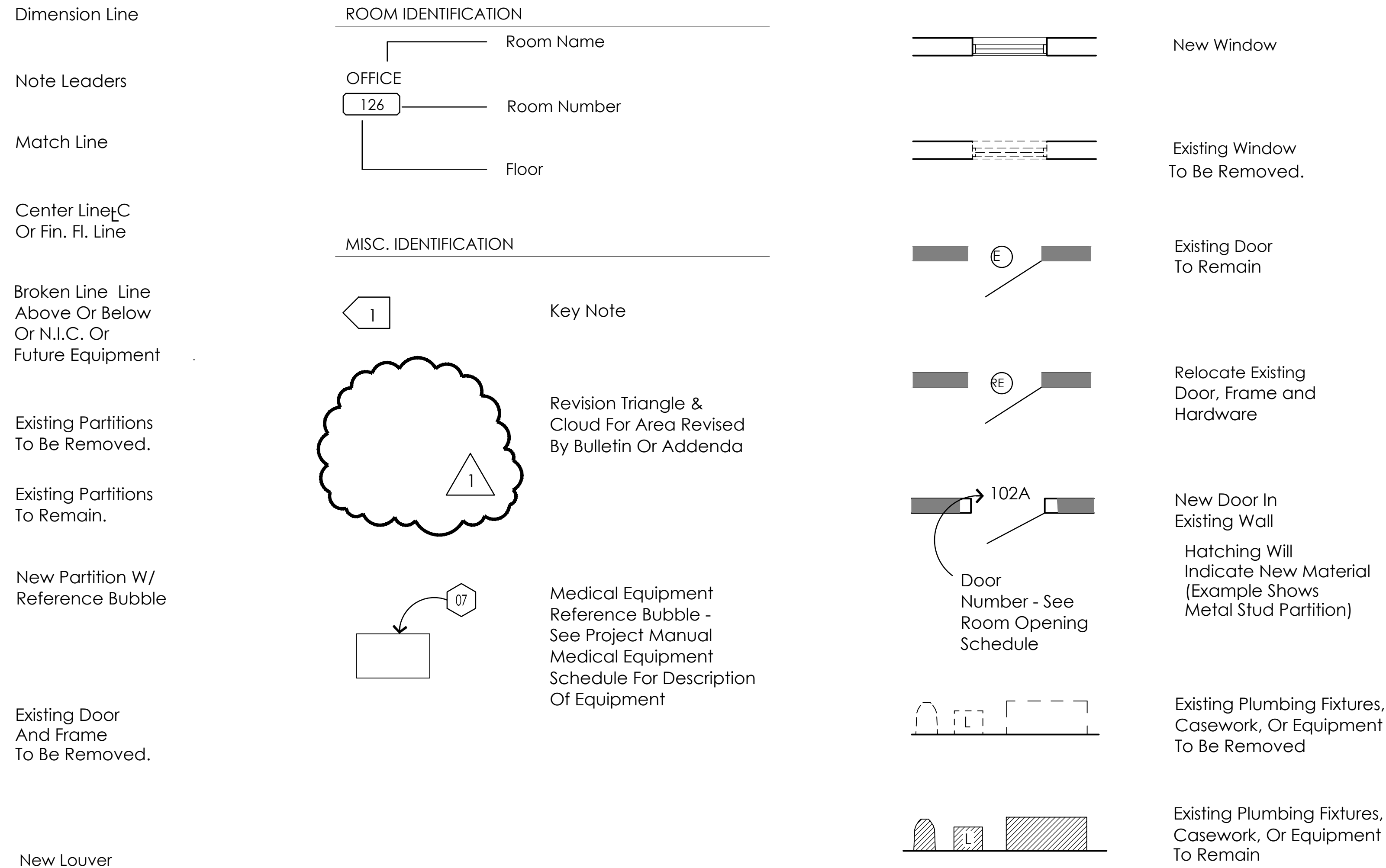
COLUMN GRID LINES



REFERENCE TO DETAIL ON LARGE SHEET



SYMBOLS



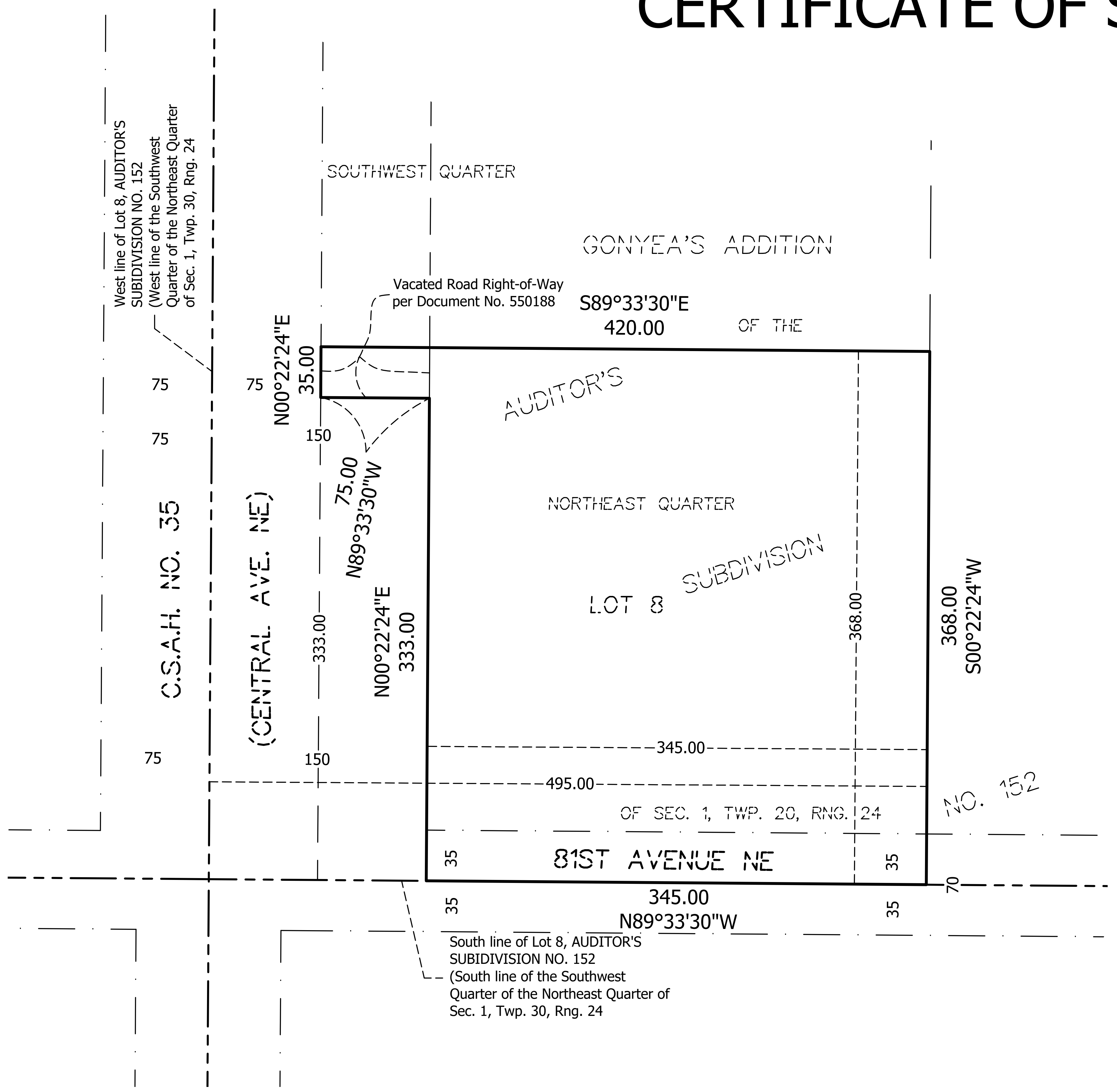
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING.

Stantec logo and contact information. City of Spring Lake Park, Minnesota. City Hall Renovation/Expansion. Architectural Abbreviations. Indication of Materials and Symbols. Revision table and drawing status.

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE SURVEYOR. NO USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STATE IS FORBIDDEN.

# CERTIFICATE OF SURVEY

NO. REVISION	DATE
SURVEY	
DRAWN	DJR
DESIGNED	
CHECKED	###
APPROVED	
PROJ. NO.	1938049
SHEET NUMBER	V101



### LAND DESCRIPTION

That part of Lot 8, AUDITOR'S SUBDIVISION NO. 152, described as follows: The East 345.00 feet of the West 495.00 feet of the South 368.00 feet of the Southwest Quarter of the Northeast Quarter of Section 1, Township 30, Range 24, together with vacated road as evidenced by Document No. 550189, Anoka County, Minnesota.

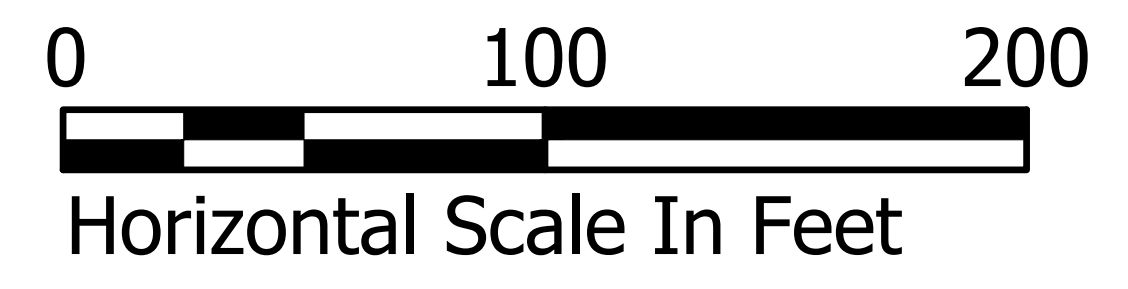
### SURVEY NOTES

1. The property described hereon is the same as the property described Report of Record Ownership and Encumbrances prepared by Registered Abstracters, Inc. dated April 8, 2016 at 8:00 A.M.
2. The bearing system of this survey is based on the South line of the Southwest Quarter of the Northeast Quarter, which is assumed to be North 89 degrees 33 minutes 30 seconds West.
3. The property address is 1301 81st Avenue NE, Spring Lake Park, Minnesota.
4. The gross area of subject property contains ±129,585 square feet (±2.97 acres).
5. NOTE: Per above stated Report by Registered Abstracters, Inc., no vesting deed was located and the legal description used taken from tax statement. It is noted that in a Lease with Option agreement between Northland Networks, Inc. and the City of Spring Lake Park, Minnesota, filed May 15, 2003, as Document No. 1899113, states the legal description of the property is as follows: "Auditor's Subdivision No. 152, the East 345.00 feet of the West 495.00 feet of the South 368.00 feet of the Southwest Quarter of the Northeast Quarter of Section 1, Township 30, Range 24, Anoka County, subject to road easement over the South 35.00 feet thereof, (being a part of Lot 8, Auditor's Subdivision No. 152, Anoka County, Minnesota) and vacated road per Document No. 550188".

### CERTIFICATION

To City of Spring Lake Park, Minnesota:  
I hereby certify that this CERTIFICATE OF SURVEY was prepared by me or under my direct supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Minnesota.

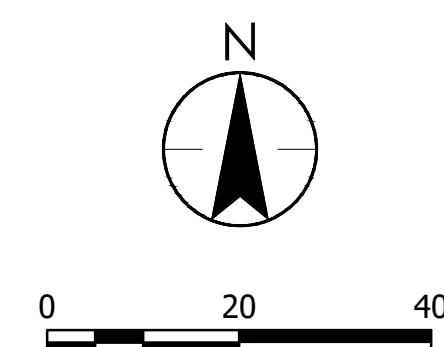
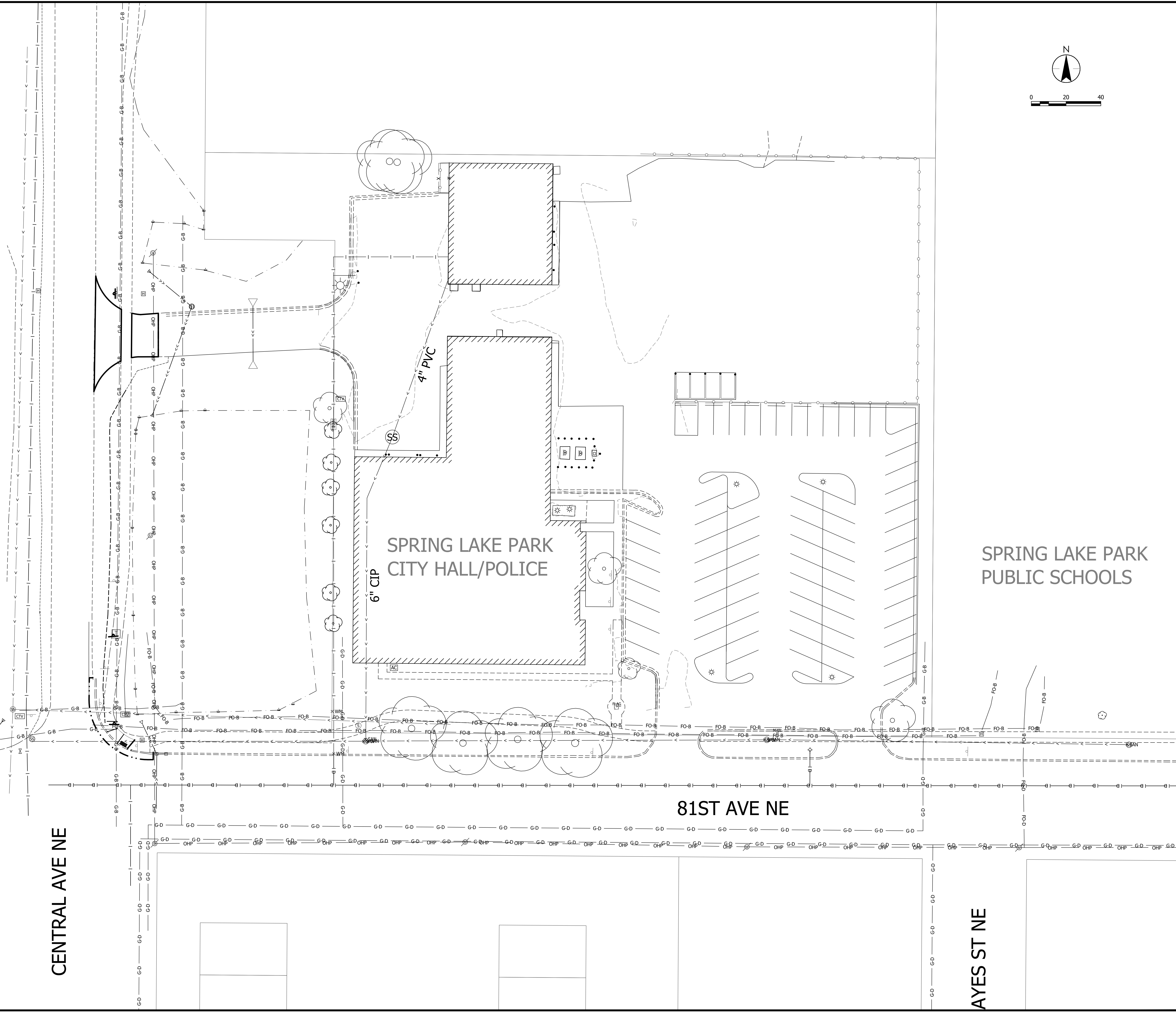
STANTEC  
  
Daniel J. Roeber, Professional Land Surveyor  
Minnesota License Number 43133  
May 16, 2016



THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DRAWINGS ARE THE PROPERTY OF STANTEC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Plot Date: 09/07/2023 8:59am  
Project: 19380649-01  
User: 19380649-01  
Scale: 1/8" = 1'-0"

CENTRAL AVE NE



SPRING LAKE PARK  
CITY HALL/POLICE

SPRING LAKE PARK  
PUBLIC SCHOOLS

81ST AVE NE

HAYES ST NE

STANTEC  
733 Marquette Avenue, Suite 1000  
Minneapolis, MN 55402  
www.stantec.com

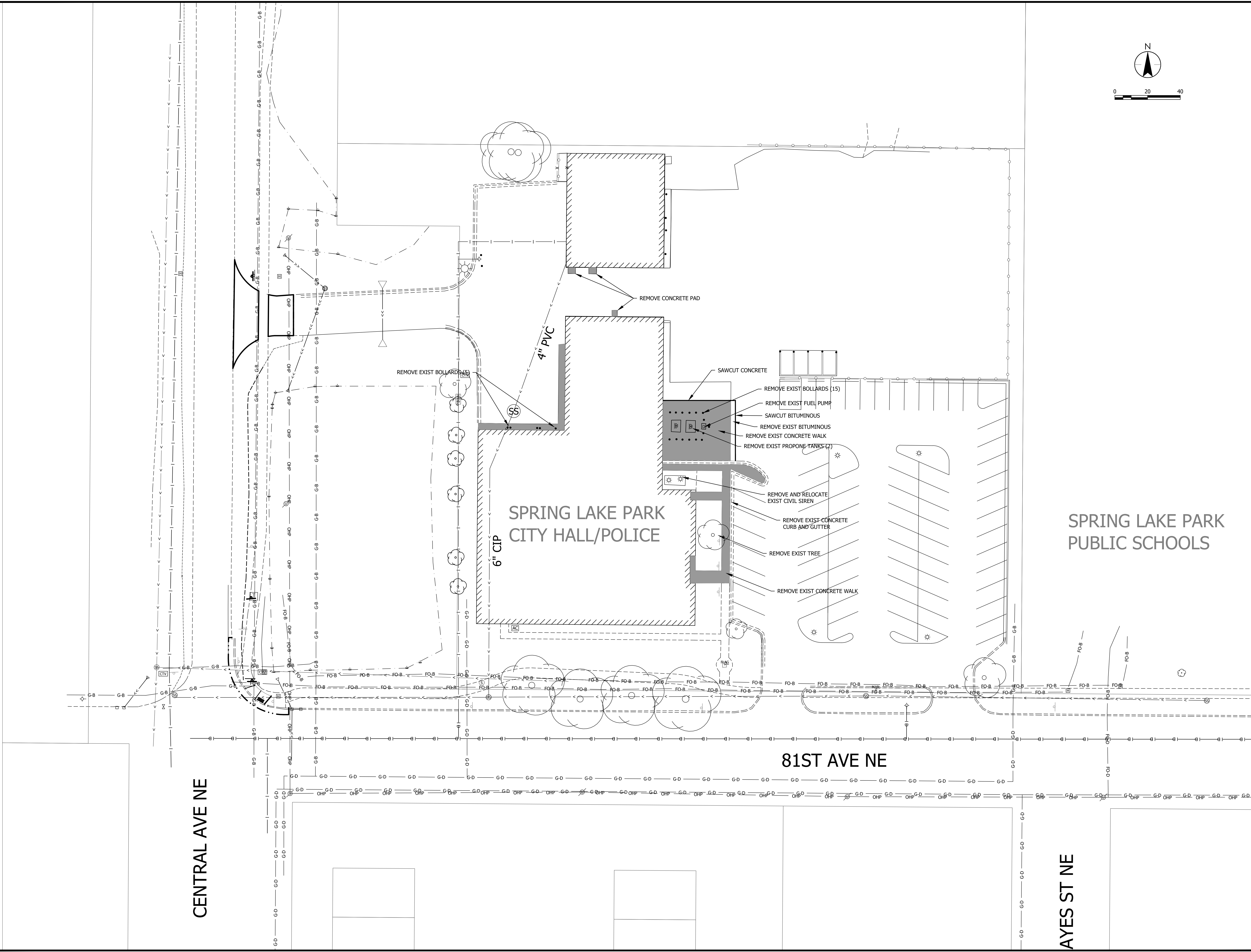
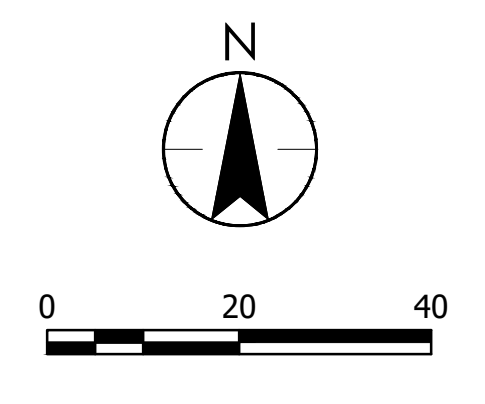
CITY OF SPRING LAKE PARK, MINNESOTA  
CITY HALL RENOVATION/EXPANSION  
EXISTING SITE PLAN

NO. REVISION DATE


SURVEY	EAB
DRAWN	GD8
DESIGNED	LFG
CHECKED	###
APPROVED	LFG
PROJ. NO.	19380649
SHEET NUMBER	C001

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING FOR DIMENSIONS. DIMENSIONS ARE TO THE CENTERLINE OF ALL PAVEMENTS AND DIMENSIONS TO THE PROPERTY OR FINISHED SURFACE OF ANY EXISTING STRUCTURE UNLESS OTHERWISE SPECIFIED. REPRODUCTION OF THIS DRAWING FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

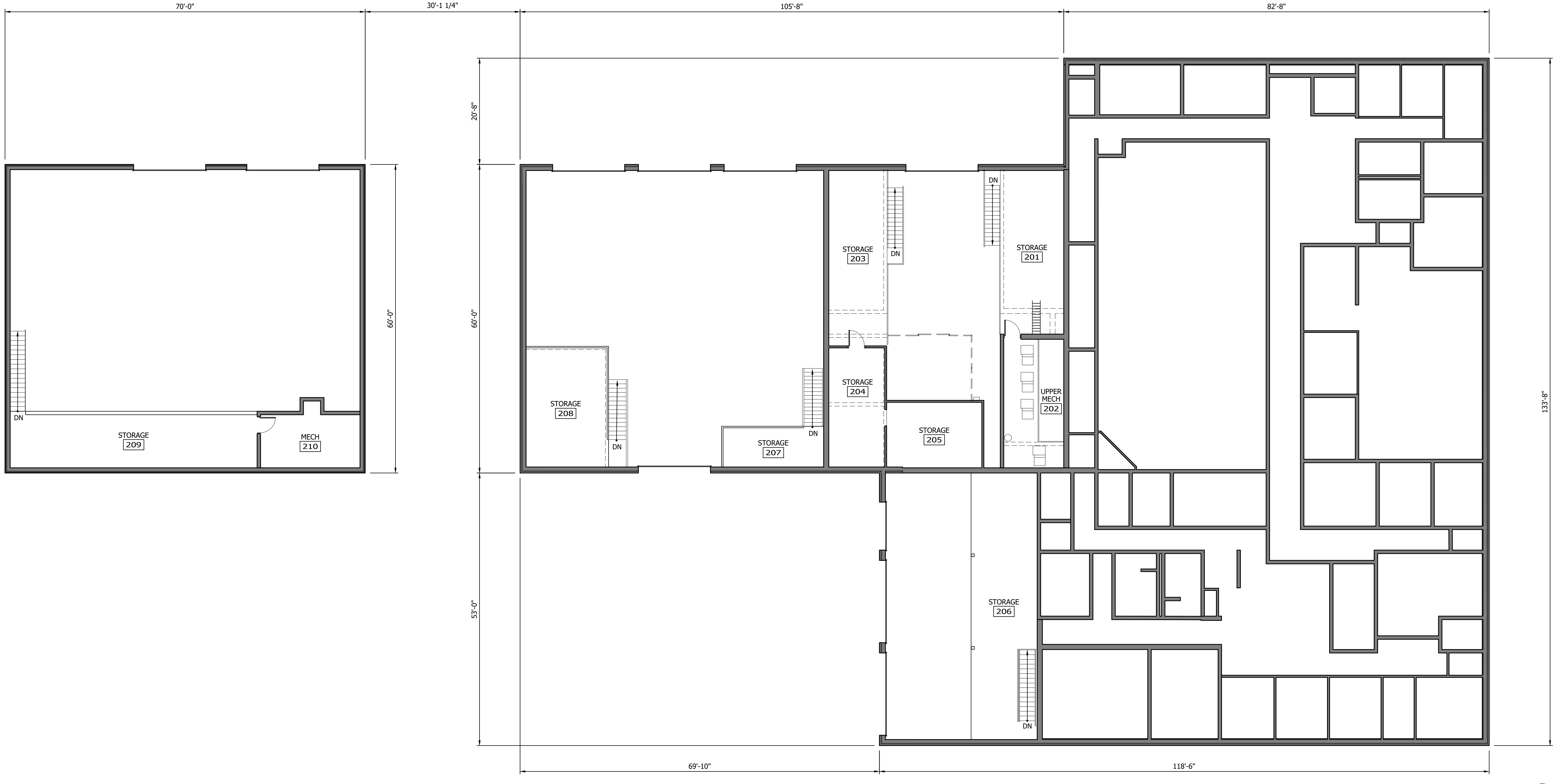
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User: JESSICA.PARKER  
File: 193896047.dwg  
Path: S:\Projects\193896047\193896047.dwg  
Title: 193896047.dwg







THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL DIMENSIONS.



1 EXISTING MEZZANINE PLAN  
 0' 4' 8' 16'

Proj Date: 09/07/2022 8:58am  
 XREF: 19386049-AZAA, 19386049-AZAB, 19386049-AZAC, 19386049-AZAD, 19386049-AZAE, 19386049-AZAF, 19386049-AZAG, 19386049-AZAH, 19386049-AZAI, 19386049-AZAJ, 19386049-AZAK, 19386049-AZAL, 19386049-AZAM, 19386049-AZAN, 19386049-AZAO, 19386049-AZAP, 19386049-AZAQ, 19386049-AZAR, 19386049-AZAS, 19386049-AZAT, 19386049-AZAU, 19386049-AZAV, 19386049-AZAW, 19386049-AZAX, 19386049-AZAY, 19386049-AZAZ

THIS DRAWING IS THE PROPERTY OF STANTEC AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STANTEC. ANY UNAUTHORIZED REPRODUCTION OF THIS DRAWING IS PROHIBITED AND WILL BE LEGALLY PROSECUTED.  
 PRINT NAME: BRUCE F. LABLER  
 SIGNATURE: \_\_\_\_\_  
 DATE: 08/22/2022 LIC. NO.: 28210

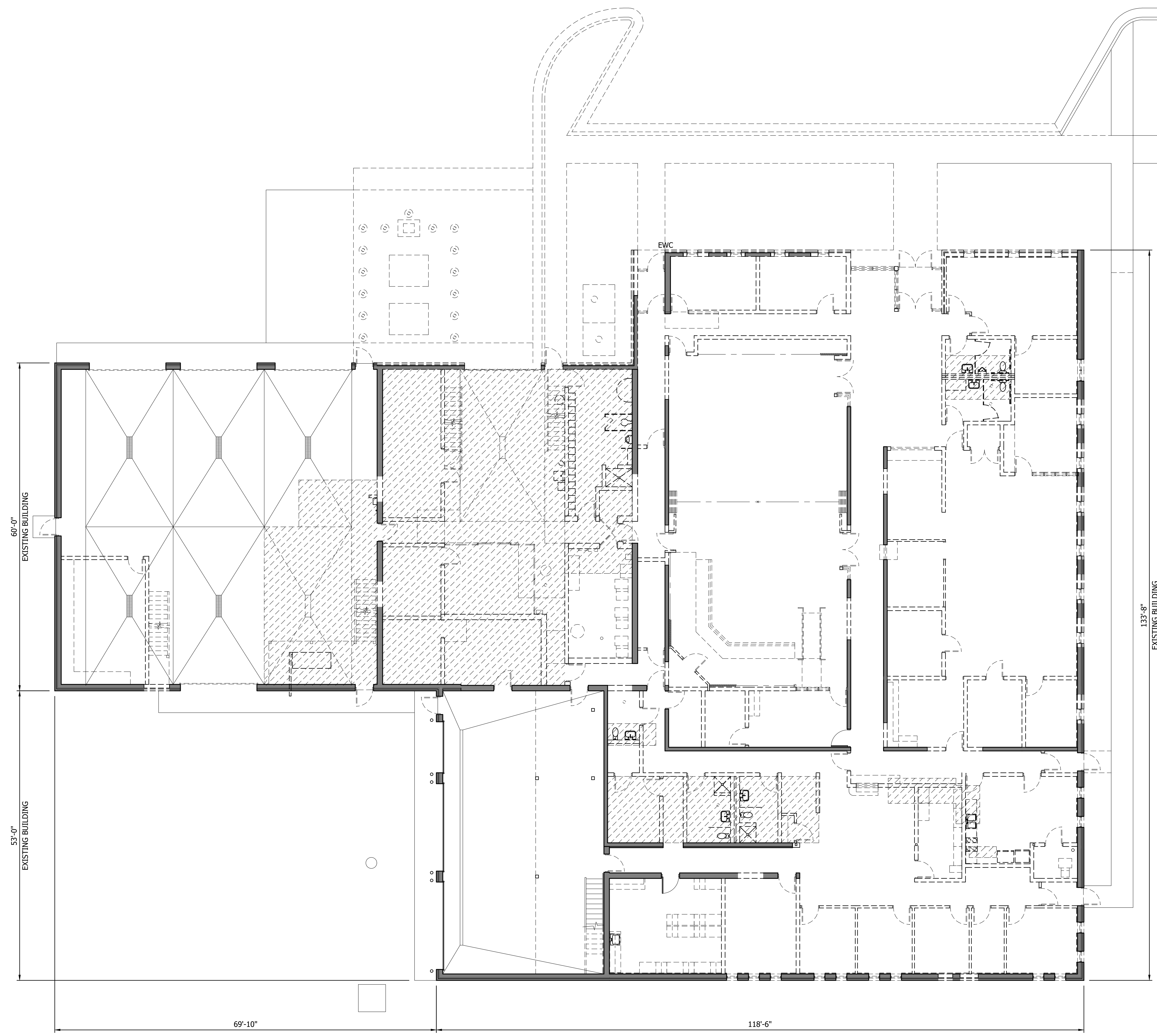
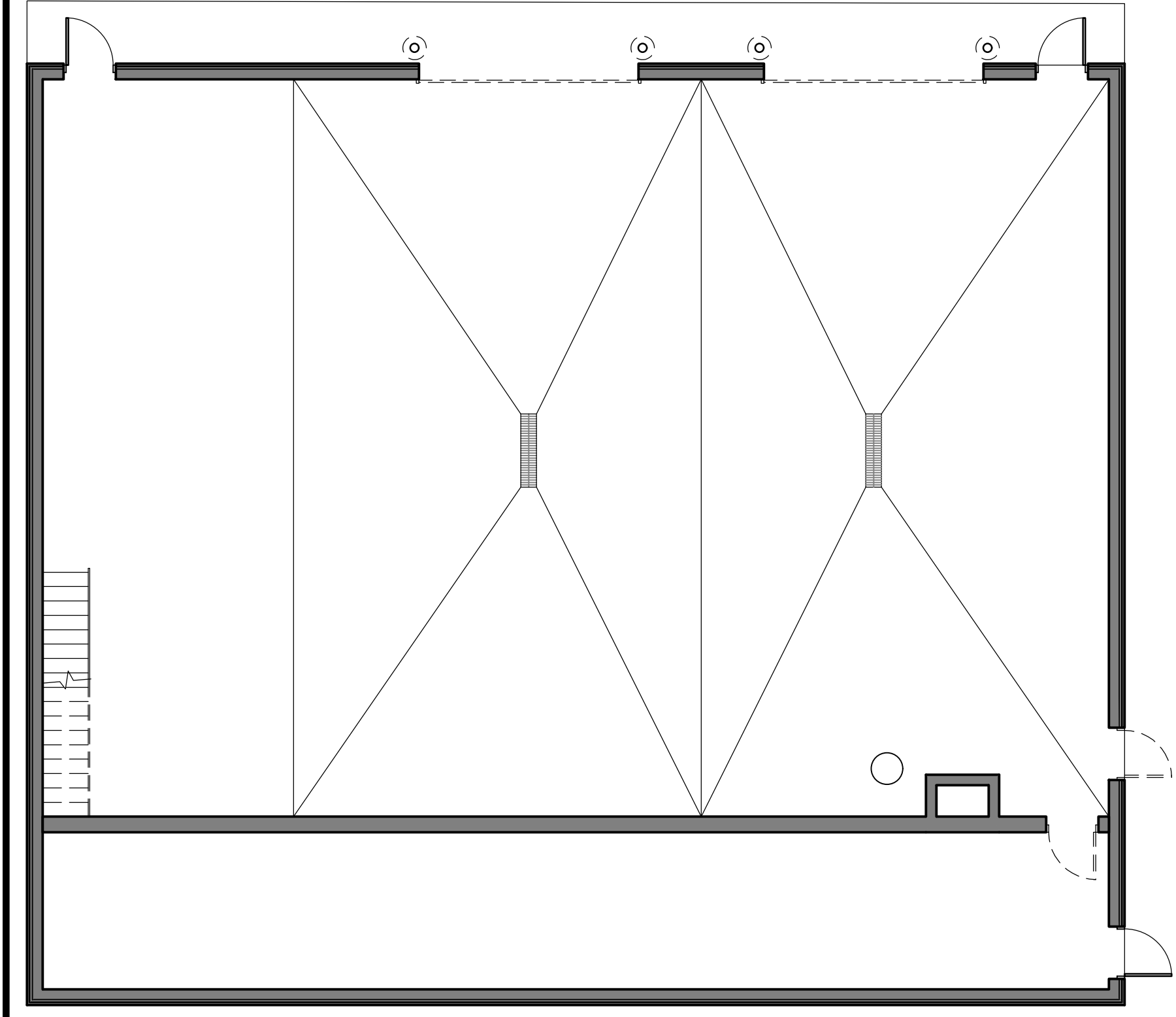
CITY OF SPRING LAKE PARK, MINNESOTA  
 CITY HALL RENOVATION/EXPANSION  
 EXISTING MEZZANINE FLOOR PLAN

NO.	REVISION	DATE

SURVEY	BPP
DRAWN	BPP
DESIGNED	
CHECKED	
APPROVED	
PROJ. NO.	19386049
SHEET NUMBER	<b>A002</b>



THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. DIMENSIONS SHALL BE TAKEN FROM THE FACE UNLESS NOTED OTHERWISE. REPRODUCTION OF THIS DRAWING FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



**1** DEMOLITION FLOOR PLAN  
0 4' 8' 16'

Plot Date: 09/07/2023 9:58AM  
User: J19386649  
File: 19386649.dwg  
Title: 19386649.dwg  
Project: 19386649

**Stantec**  
733 Marquette Avenue, Suite 1000  
Minneapolis, MN 55402  
www.stantec.com

DESIGNED BY: JESSICA L. JOHNSON  
DRAWN BY: JESSICA L. JOHNSON  
CHECKED BY: JESSICA L. JOHNSON  
DATE: 09/07/2023 10:00 AM  
LIC. NO.: 0000000000

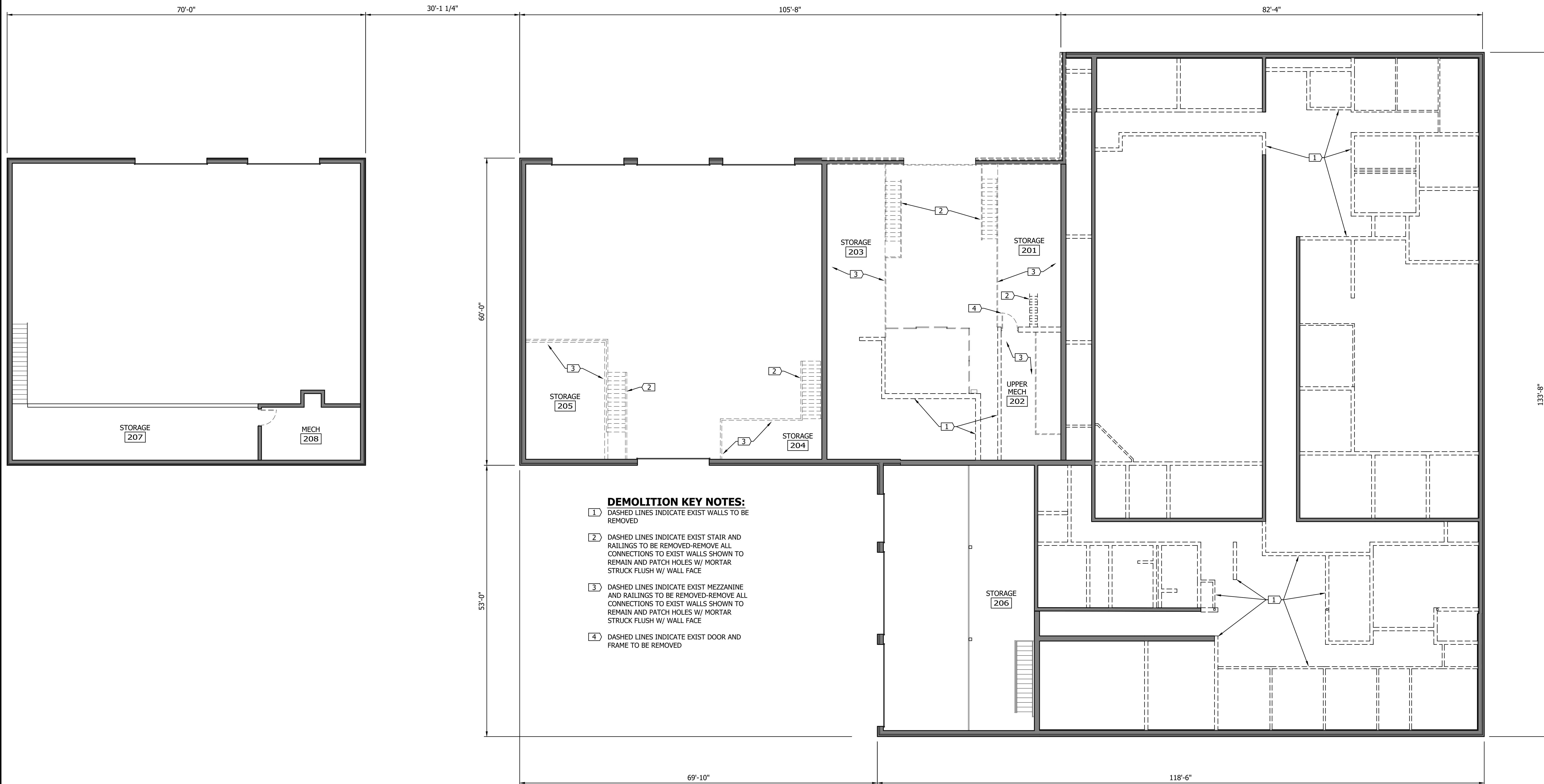
CITY OF SPRING LAKE PARK, MINNESOTA  
CITY HALL RENOVATION/EXPANSION  
DEMOLITION FLOOR PLAN

NO.	REVISION	DATE

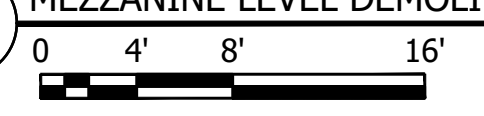
SURVEY	BPP
DRAWN	BPP
DESIGNED	BPP
CHECKED	
APPROVED	
PROJECT NO.	19386649
SHEET NUMBER	J101

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED. REPRODUCTION OF THIS DRAWING FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



- DEMOLITION KEY NOTES:**
- 1 DASHED LINES INDICATE EXIST WALLS TO BE REMOVED
  - 2 DASHED LINES INDICATE EXIST STAIR AND RAILINGS TO BE REMOVED-REMOVE ALL CONNECTIONS TO EXIST WALLS SHOWN TO REMAIN AND PATCH HOLES W/ MORTAR STRUCK FLUSH W/ WALL FACE
  - 3 DASHED LINES INDICATE EXIST MEZZANINE AND RAILINGS TO BE REMOVED-REMOVE ALL CONNECTIONS TO EXIST WALLS SHOWN TO REMAIN AND PATCH HOLES W/ MORTAR STRUCK FLUSH W/ WALL FACE
  - 4 DASHED LINES INDICATE EXIST DOOR AND FRAME TO BE REMOVED

1 MEZZANINE LEVEL DEMOLITION PLAN



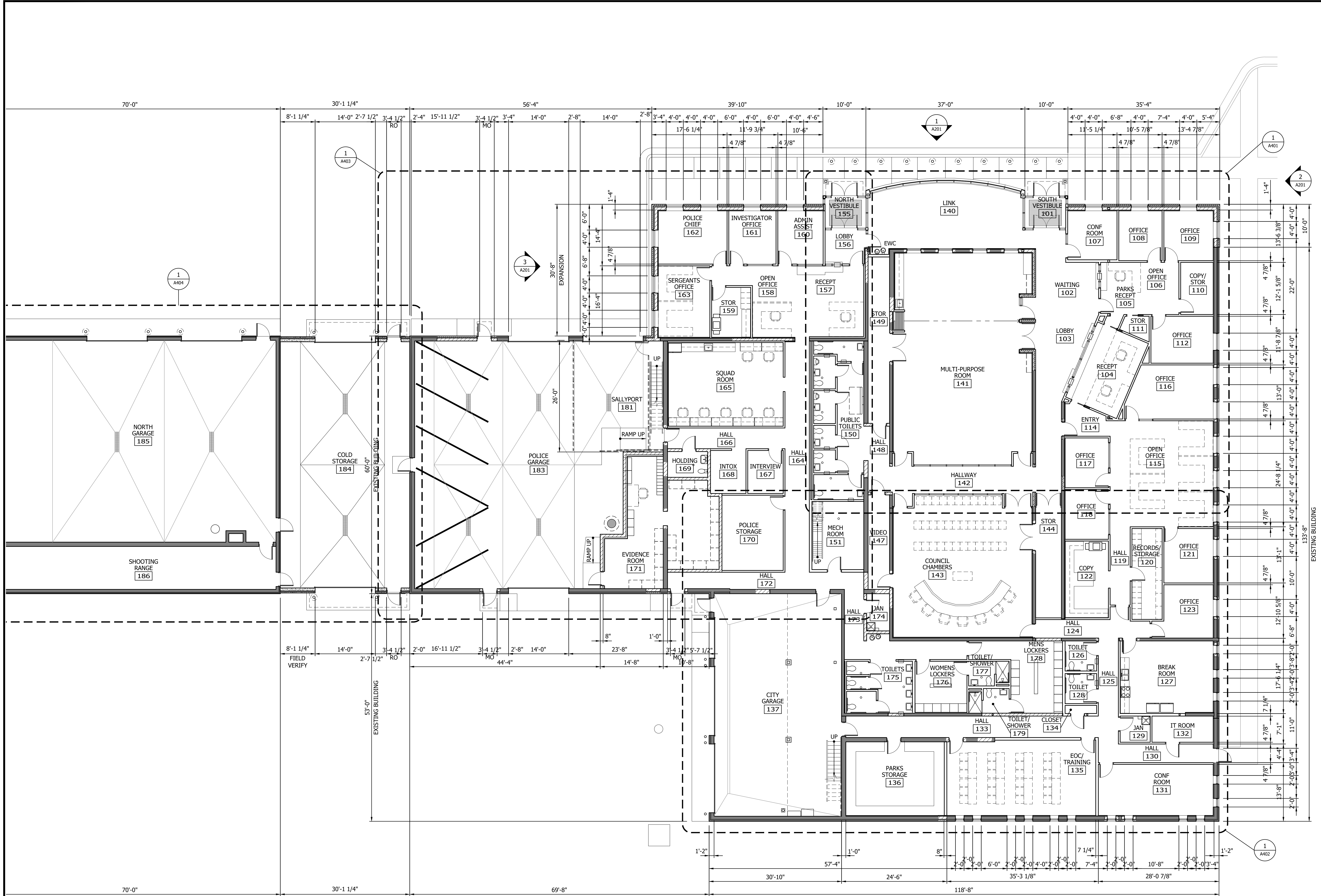
NO	REVISION	DATE

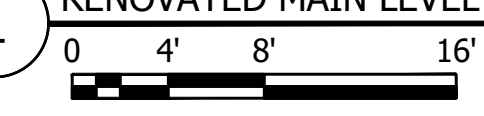
SURVEY	BPP
DRAWN	BPP
DESIGNED	BPP
CHECKED	
APPROVED	
PROJ. NO.	193806049
SHEET NUMBER	J102

Plot Date: 09/07/2023 9:59:00am  
 Plot Path: C:\Users\brucep\OneDrive\Documents\Projects\193806049\193806049.dwg  
 Plot Scale: 1:1  
 Plot Size: 11x17 (ANSI)  
 Plot Device: HP DesignJet T530

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. DIMENSIONS SHALL BE TAKEN FROM THE FINISHED FLOOR TO THE FINISHED FLOOR UNLESS OTHERWISE NOTED. REPRODUCTION OF THIS DRAWING FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



**1** RENOVATED MAIN LEVEL FLOOR PLAN



Per Date: 09/07/2023, 8:55AM  
Project: 193806049, City of Spring Lake Park, Minnesota  
Drawn: 193806049, BPP  
Checked: 193806049, BPP  
Approved: 193806049, BPP

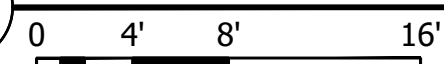
NO	REVISION	DATE

SURVEY	BPP
DRAWN	BPP
DESIGNED	BPP
CHECKED	BPP
APPROVED	BPP
PROJ. NO.	193806049
SHEET NUMBER	A101

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1 RENOVATED MEZZANINE FLOOR PLAN

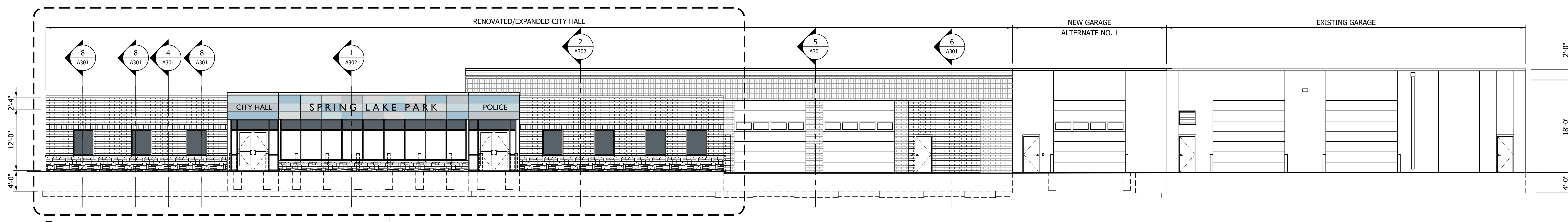


ROOM FINISH SCHEDULE - MEZZANINE

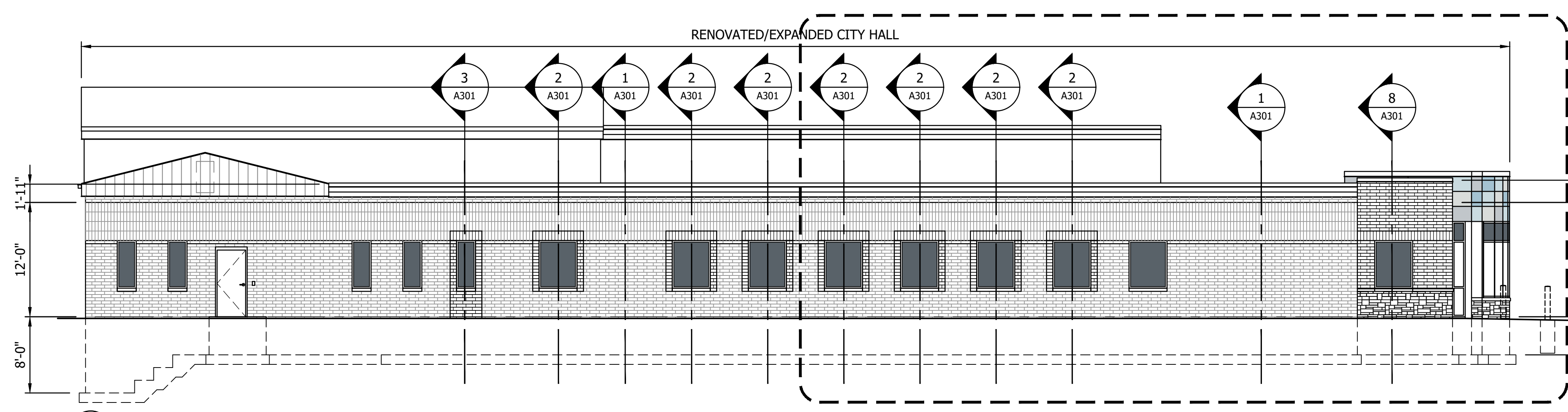
ROOM NO	ROOM NAME	FLOOR			BASE MATL	WALLS								CEILING				NOTES
		MATL	FIN			NORTH MATL	NORTH FIN	SOUTH MATL	SOUTH FIN	EAST MATL	EAST FIN	WEST MATL	WEST FIN	MATL	FIN	HEIGHT		
137	CITY GARAGE	EXIST	EXIST	EXIST		EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	-	
151	MECH ROOM	CONC/EXIST CONC	SL-1	RB	GYP BD	GB-1	EXIST CMU	M-1	GYP BD	GB-1	GYP BD	GB-1	EXIST MET	EXIST	EXIST	-		
181	SALLYPORT	EXIST CONC	EXIST	EXIST CMU	-	-	EXIST CMU	M-1	EXIST/CMU	M-1	CMU	M-1	EXIST MET	EXIST	EXIST	-		
183	POLICE GARAGE	EXIST/CONC	EXIST/SL-1	EXIST/CMU	EXIST CMU	M-1	EXIST/CMU	M-1	EXIST CMU	M-1	EXIST/CMU	M-1	EXIST MET	EXIST	EXIST	-		
184	COLD STORAGE	CONC	SL-1	EXIST/CONC	EXIST CONC	EXIST	EXIST BRICK	EXIST	CONC	-	CONC	-	MET	-	18'-9"	-		
185	NORTH GARAGE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	-	NO WORK THIS ROOM	
201	GUN CLEANING	CONC	SL-1	EXIST/CMU	-	-	EXIST/CMU	M-1	-	-	-	-	EXIST MET	EXIST	EXIST	-		
202	SECURE STORAGE	CONC	SL-1	-	CMU	M-1	EXIST CMU	M-1	CMU	M-1	EXIST CMU	M-1	EXIST MET	EXIST	EXIST	-		
203	STORAGE	CONC	SL-1	EXIST/CMU	EXIST CMU	M-1	CMU	M-1	CMU	M-1	CMU	M-1	EXIST MET	EXIST	EXIST	-		
206	GARAGE MEZZANINE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	-		
207	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	-	NO WORK THIS ROOM	
208	MECH	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	-	NO WORK THIS ROOM	

Proj Date: 09/07/2023 8:58AM  
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 File: 193806049.dwg  
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 Title: 193806049.dwg  
 Author: JRP/STC

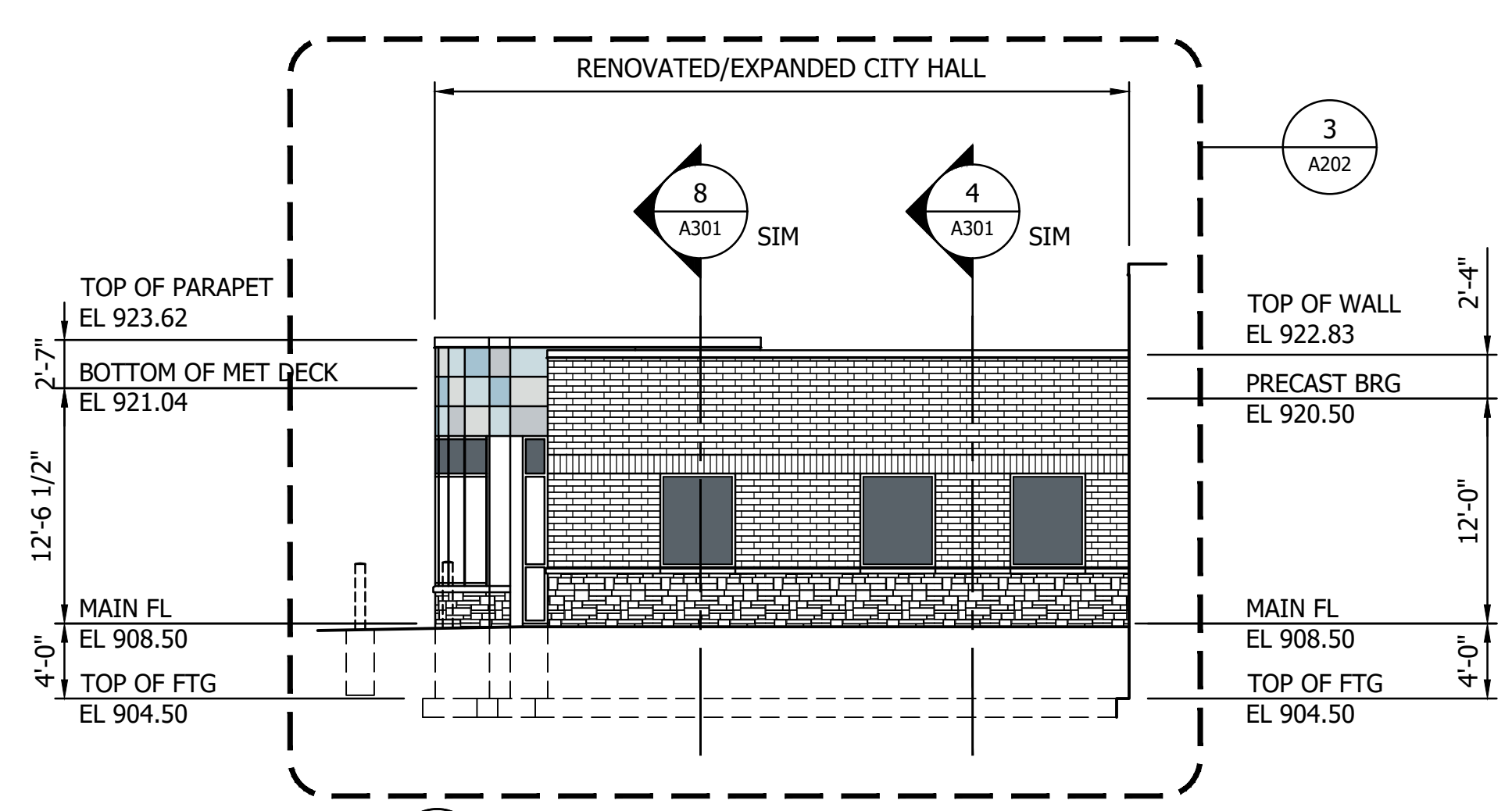
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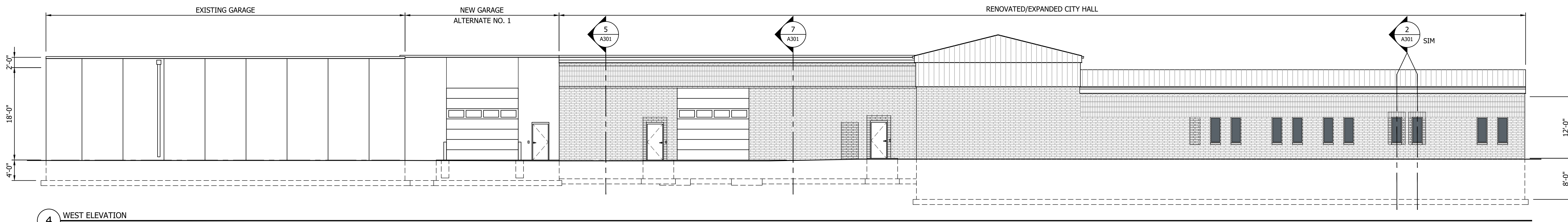
1 EAST ELEVATION  
0 4' 8' 16'



2 SOUTH ELEVATION  
0 4' 8' 16'



3 PARTIAL NORTH ELEVATION  
0 4' 8' 16'

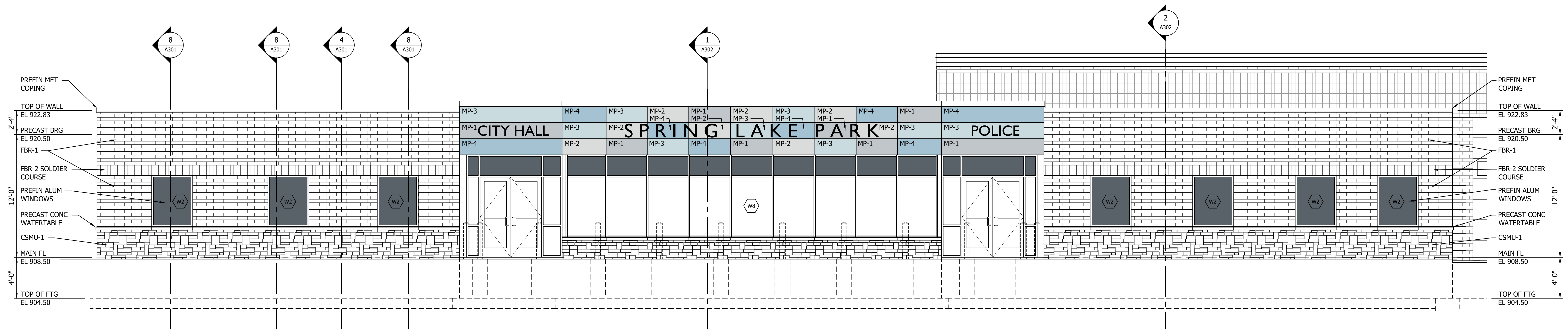


4 WEST ELEVATION  
0 4' 8' 16'

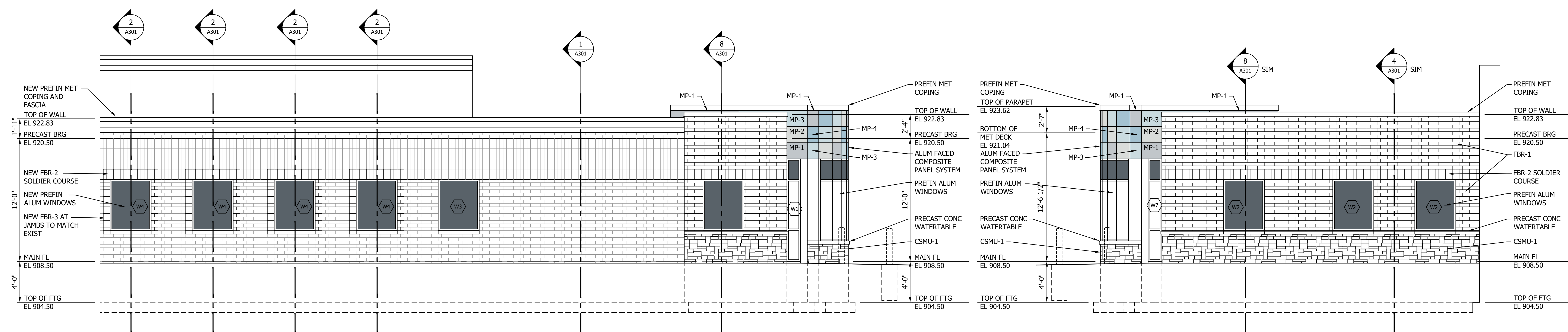
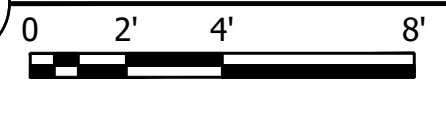
NO.	REVISION	DATE

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Title: 193806049\_A201.dwg

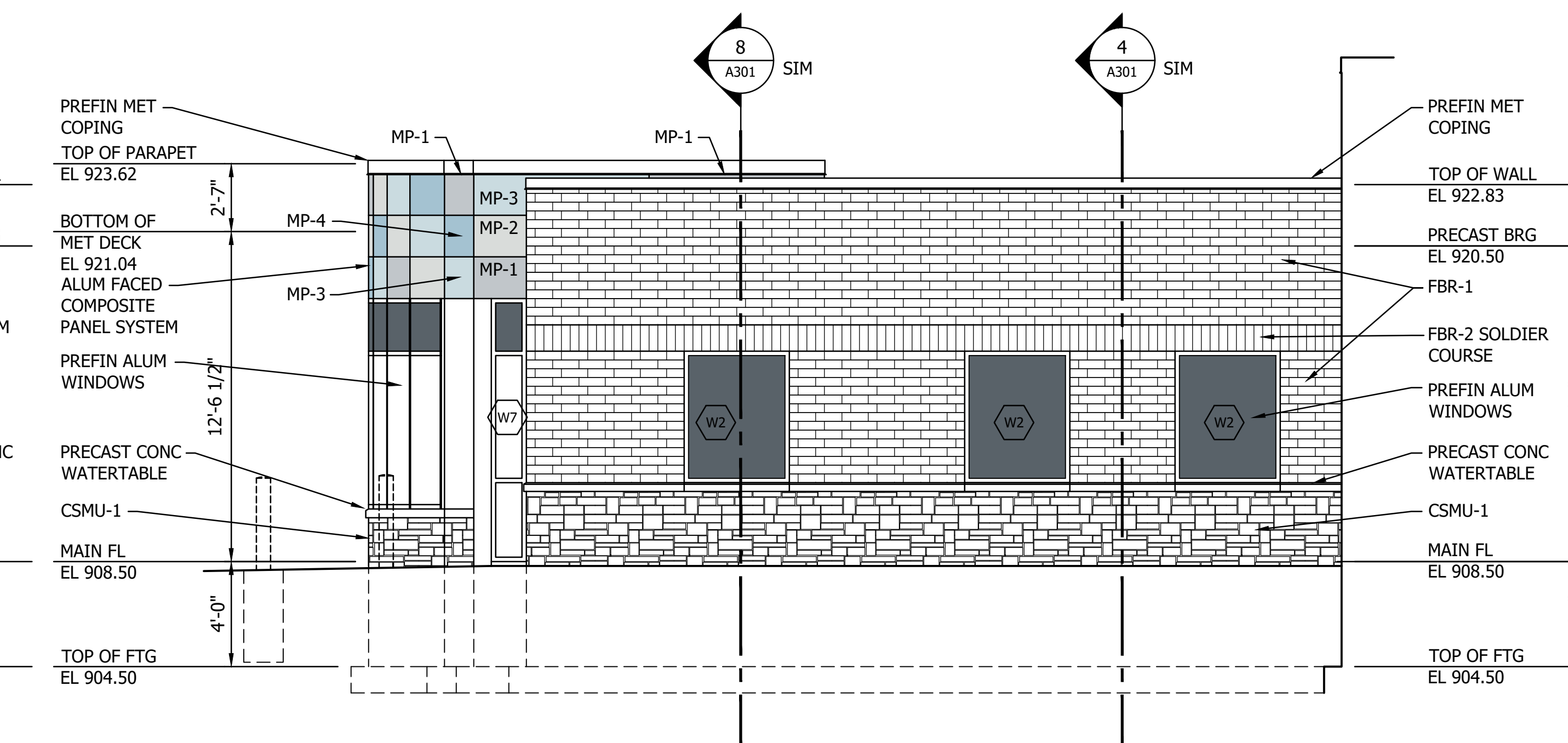
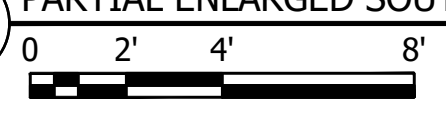
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND PROVIDE THE LOCATION TO THE ARCHITECT. REPRODUCTION FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



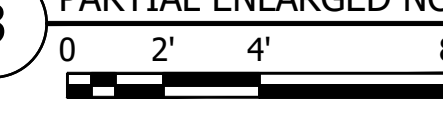
**1** PARTIAL ENLARGED EAST ELEVATION



**2** PARTIAL ENLARGED SOUTH ELEVATION



**3** PARTIAL ENLARGED NORTH ELEVATION



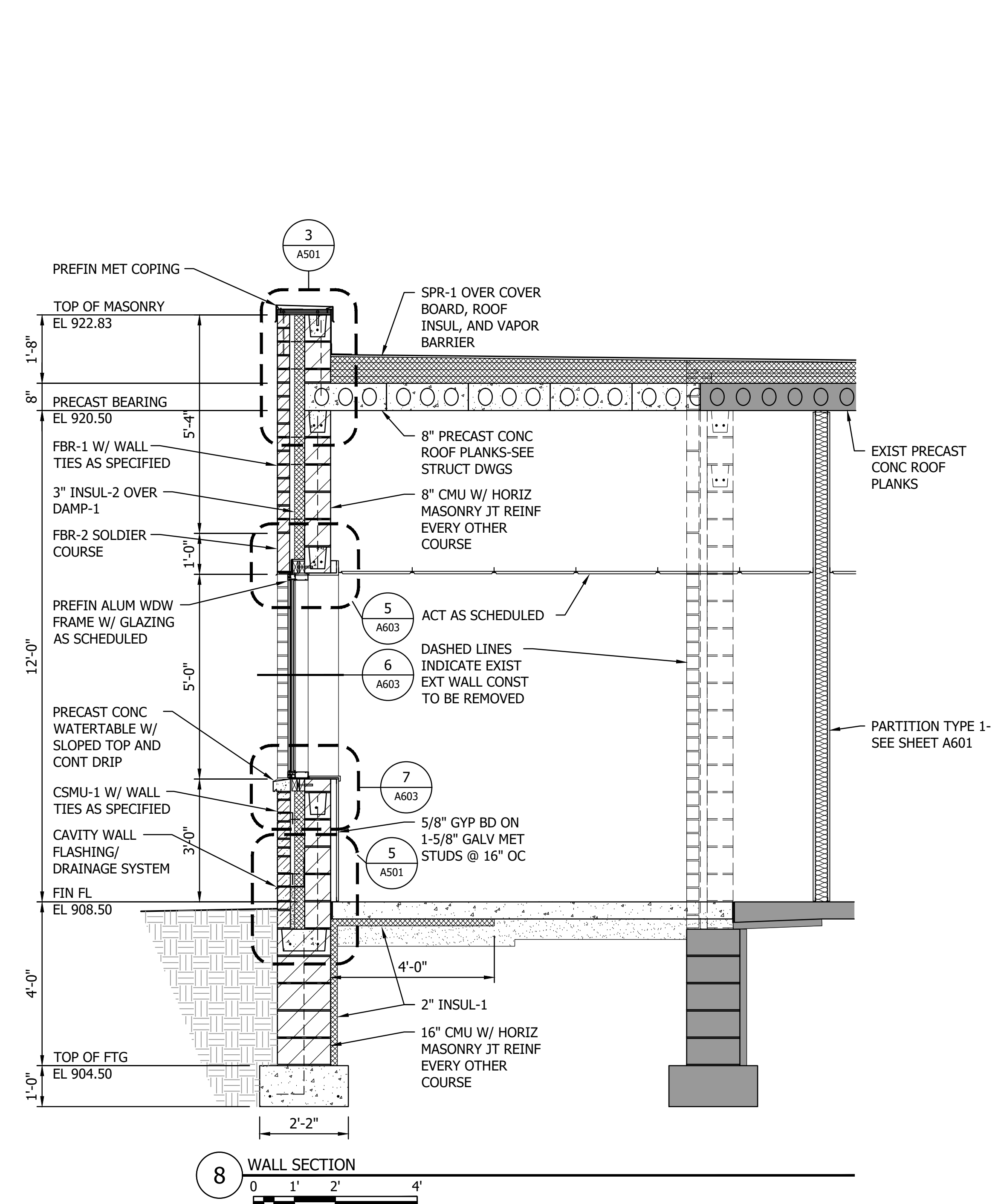
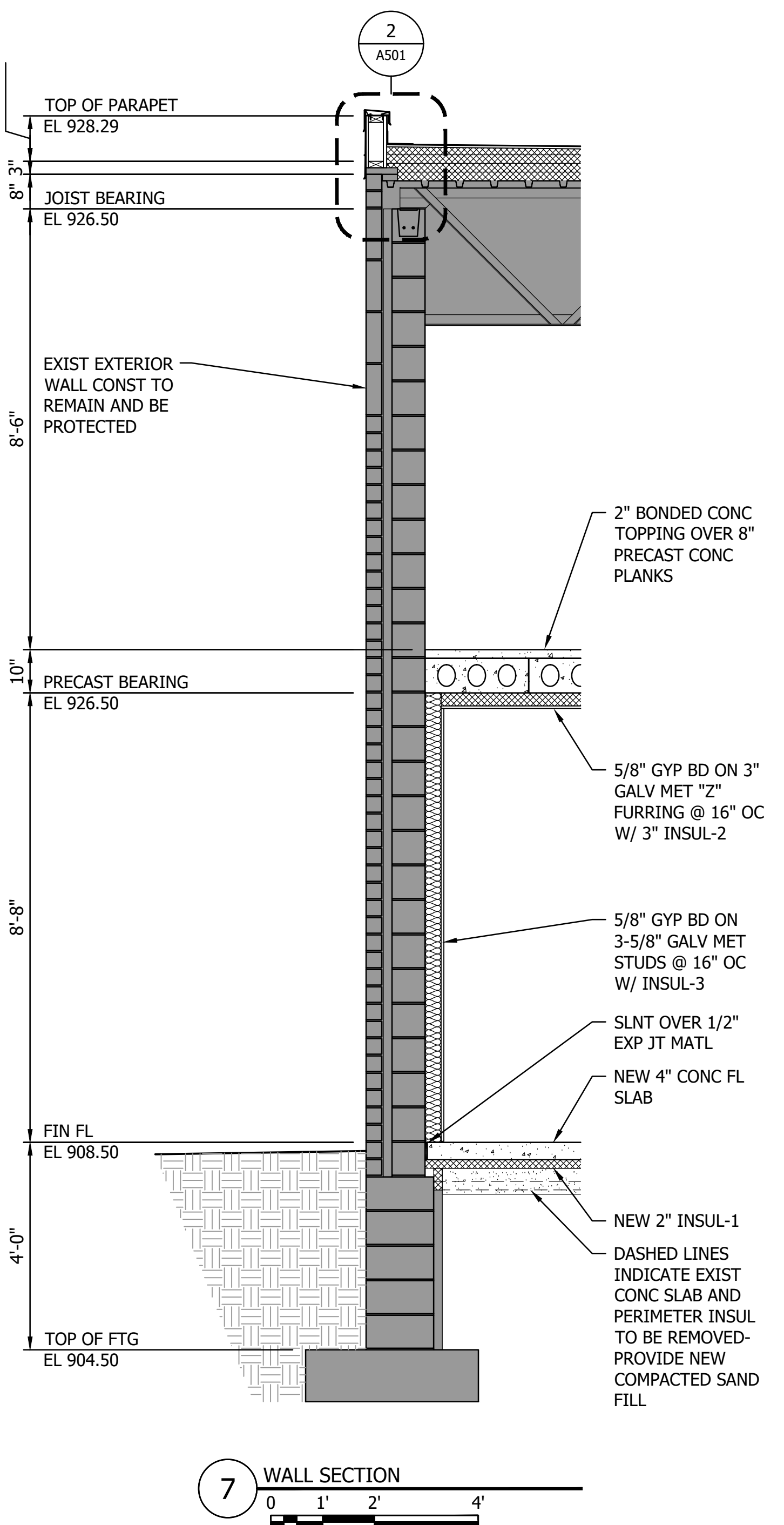
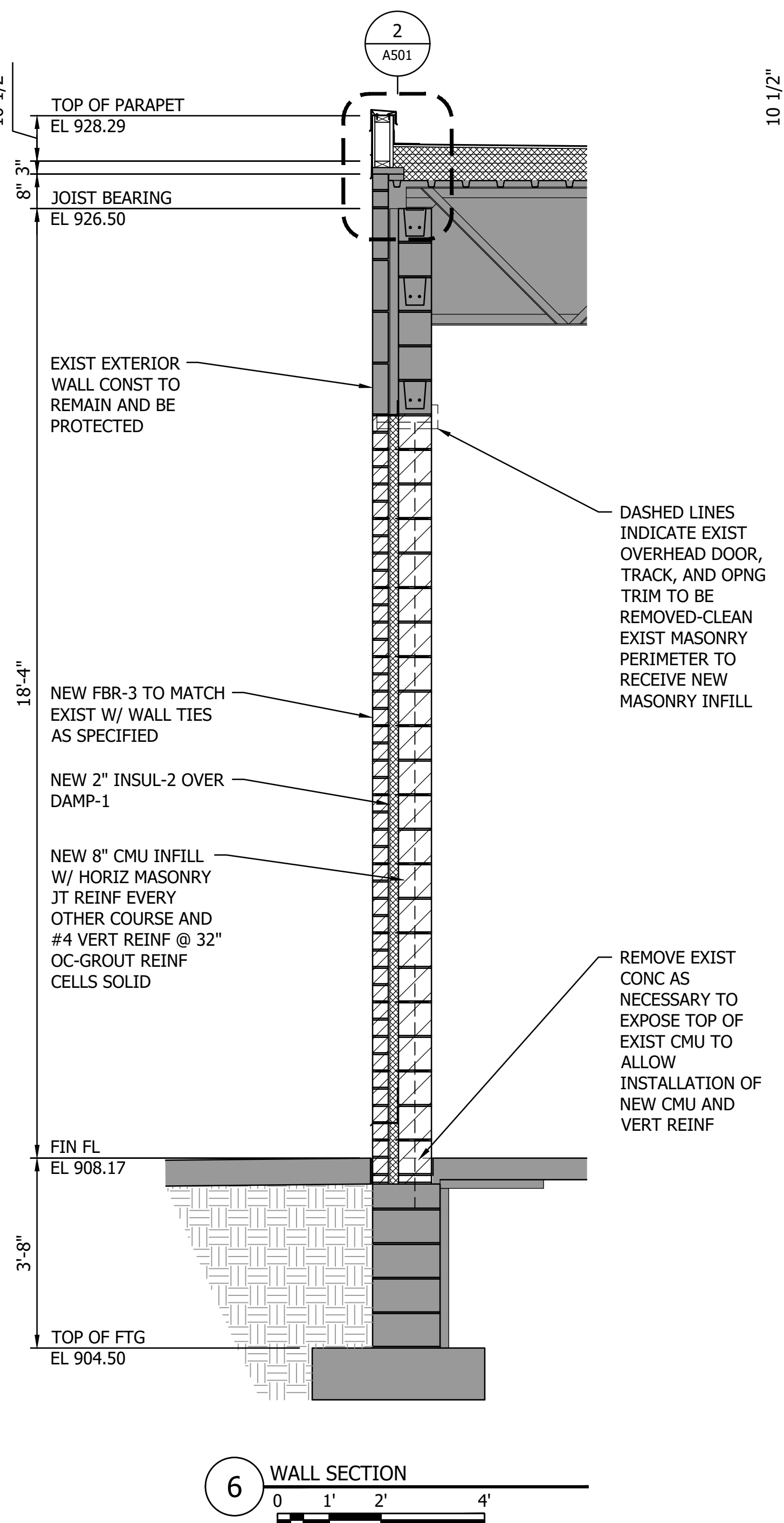
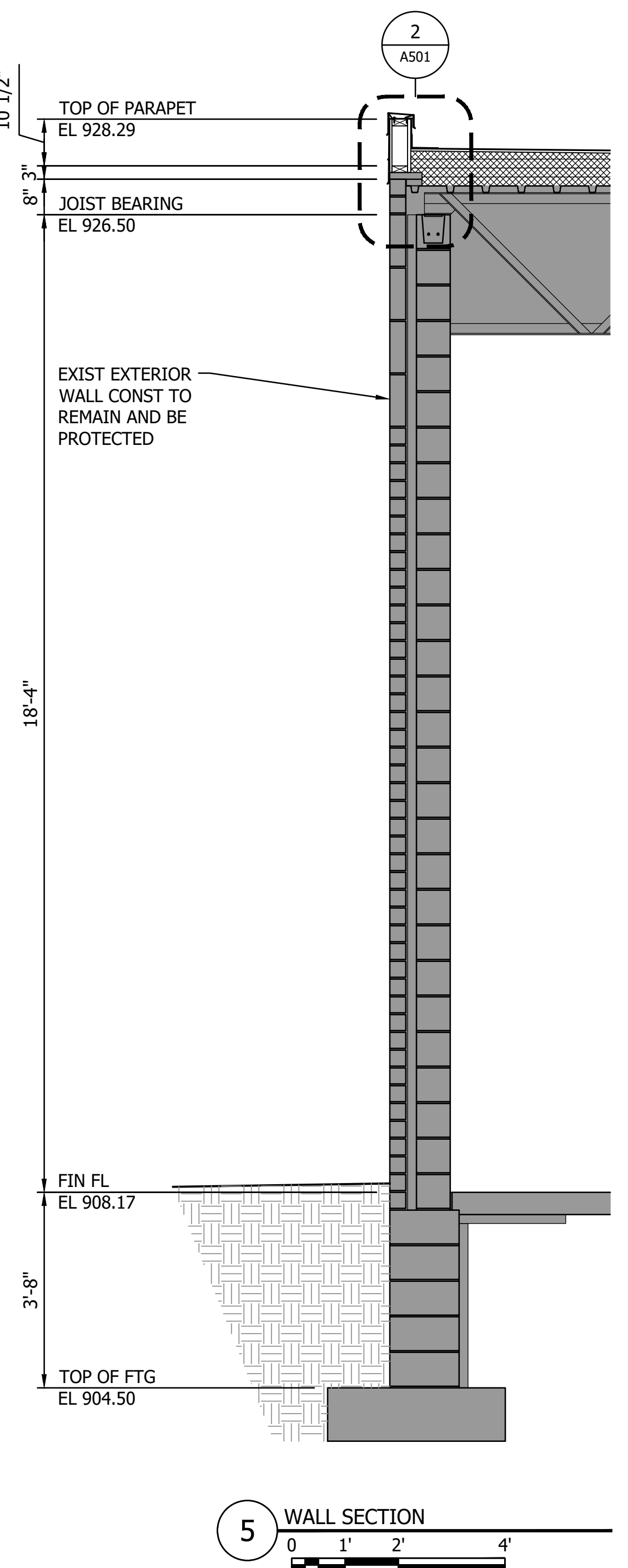
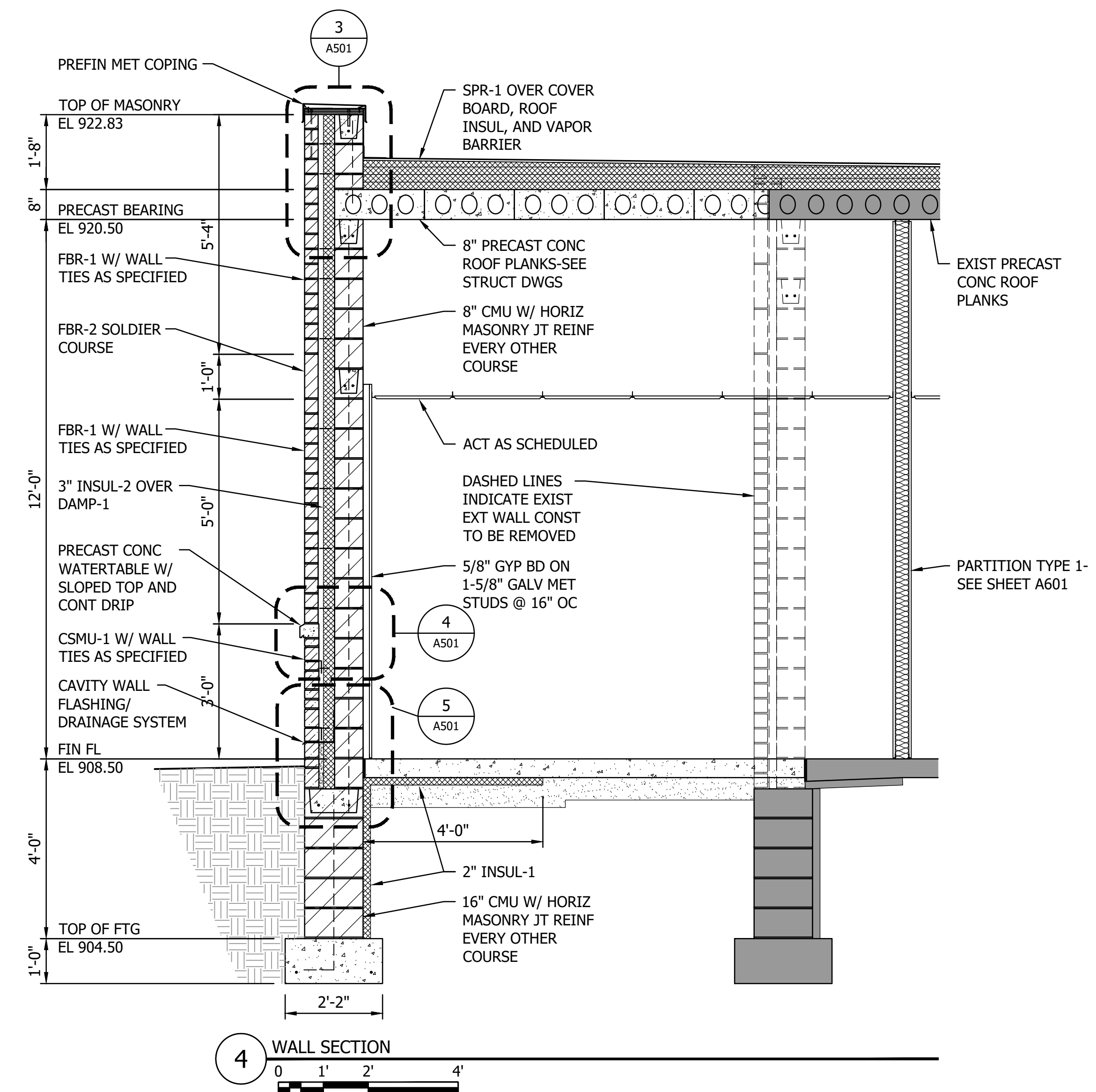
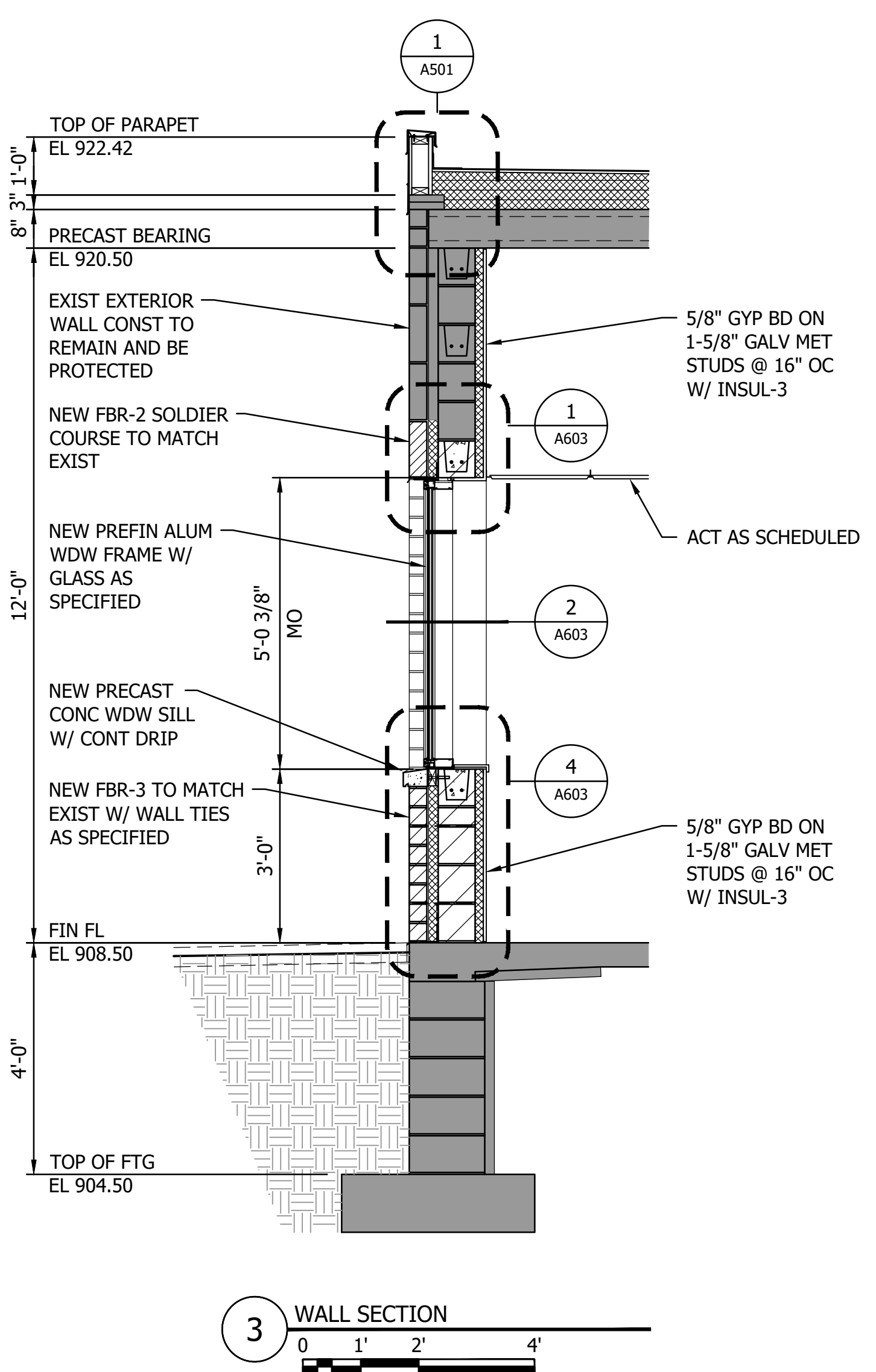
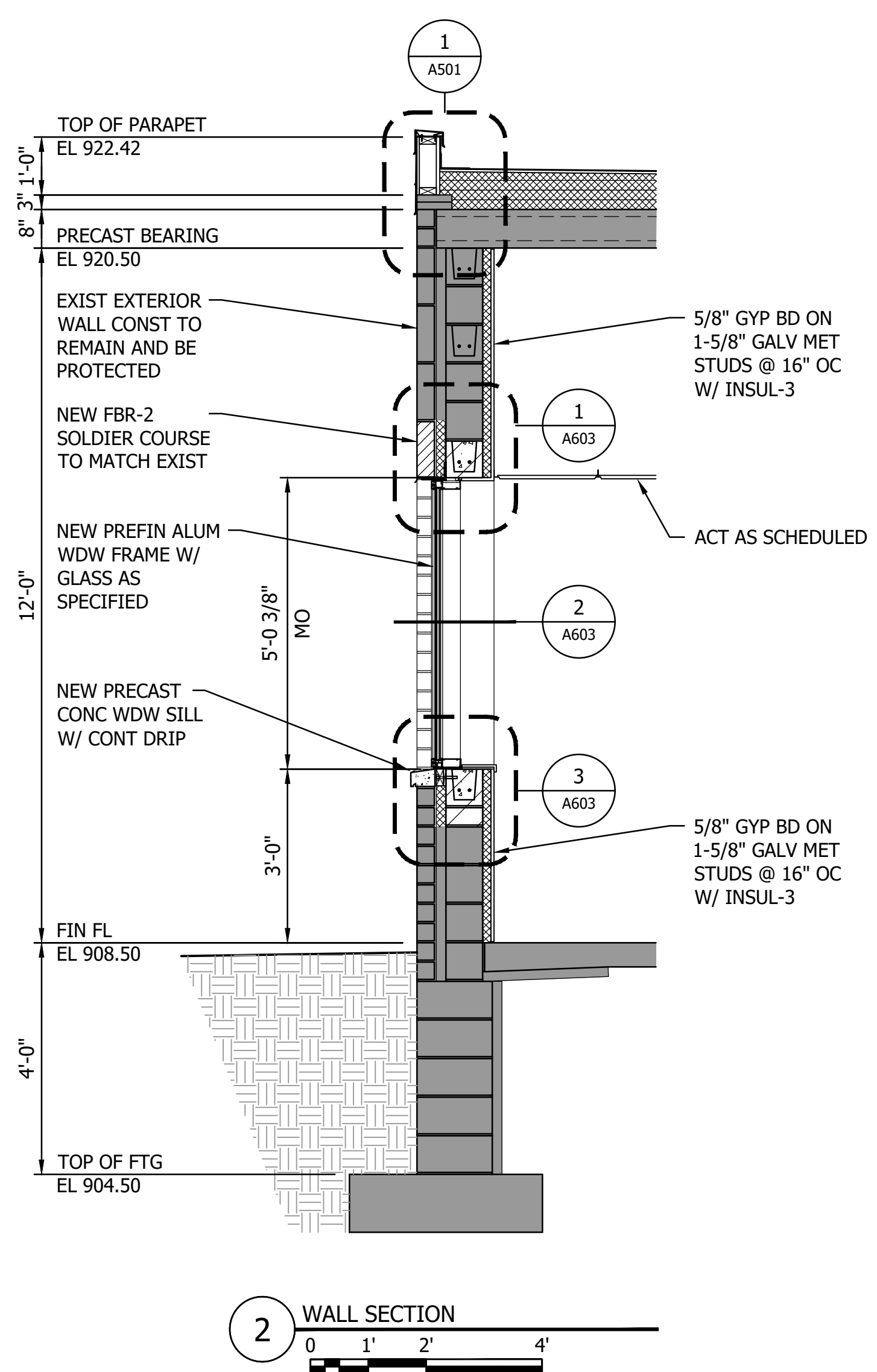
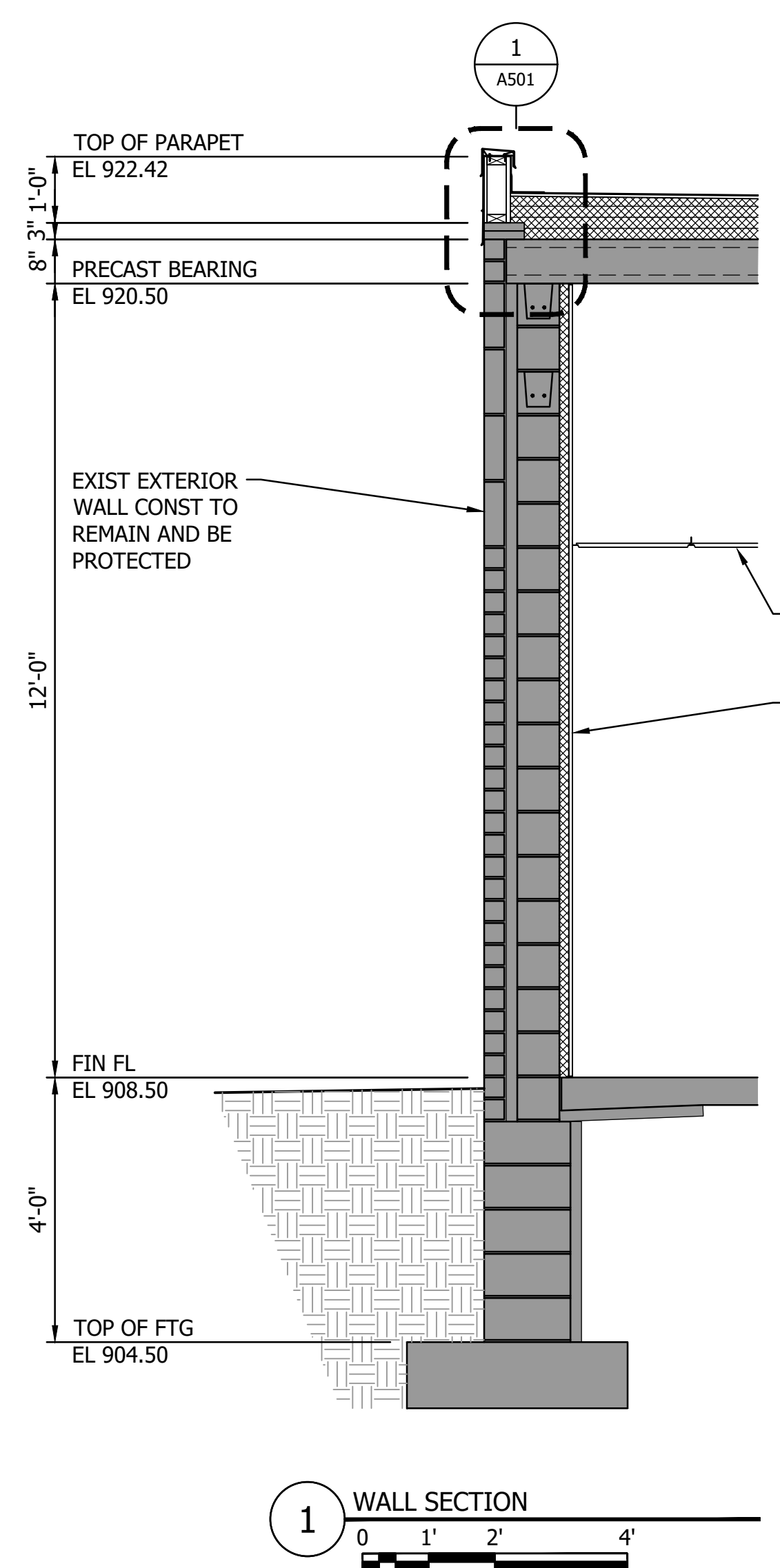
NO	REVISION	DATE

SURVEY	BPP
DRAWN	BPP
DESIGNED	BPP
CHECKED	
APPROVED	
PROJ. NO.	193860649
SHEET NUMBER	<b>A202</b>



THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING FOUNDATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING FOUNDATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING FOUNDATIONS.



Proj Date: 09/07/2023 8:50 AM  
 Drawn By: J19380649-A301.dwg  
 Drawn Date: 09/07/2023 8:50 AM  
 Project: 19380649-CAD (Dwg) (19380649-A301.dwg)  
 User: J19380649-A301  
 Title: 19380649-A301



733 Marquette Avenue, Suite 1000  
 Minneapolis, MN 55402  
 www.stantec.com  
 PRINT NAME: BRUCE E. FOLESON  
 SIGNATURE: [Signature]  
 DATE: 09/07/2023 8:50 AM  
 LIC. NO.: 202015

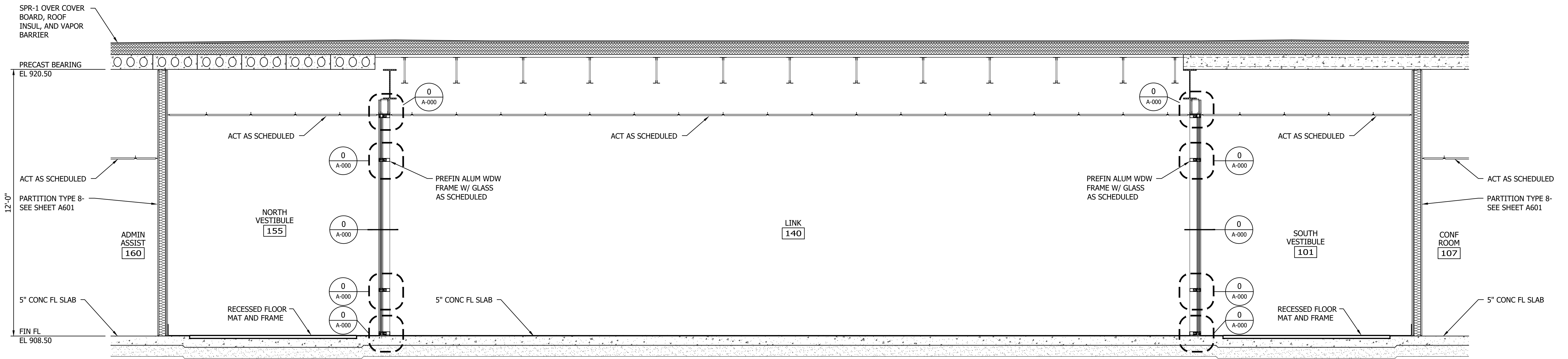
CITY OF SPRING LAKE PARK, MINNESOTA  
 CITY HALL RENOVATION/EXPANSION  
 WALL SECTIONS

NO.	REVISION	DATE

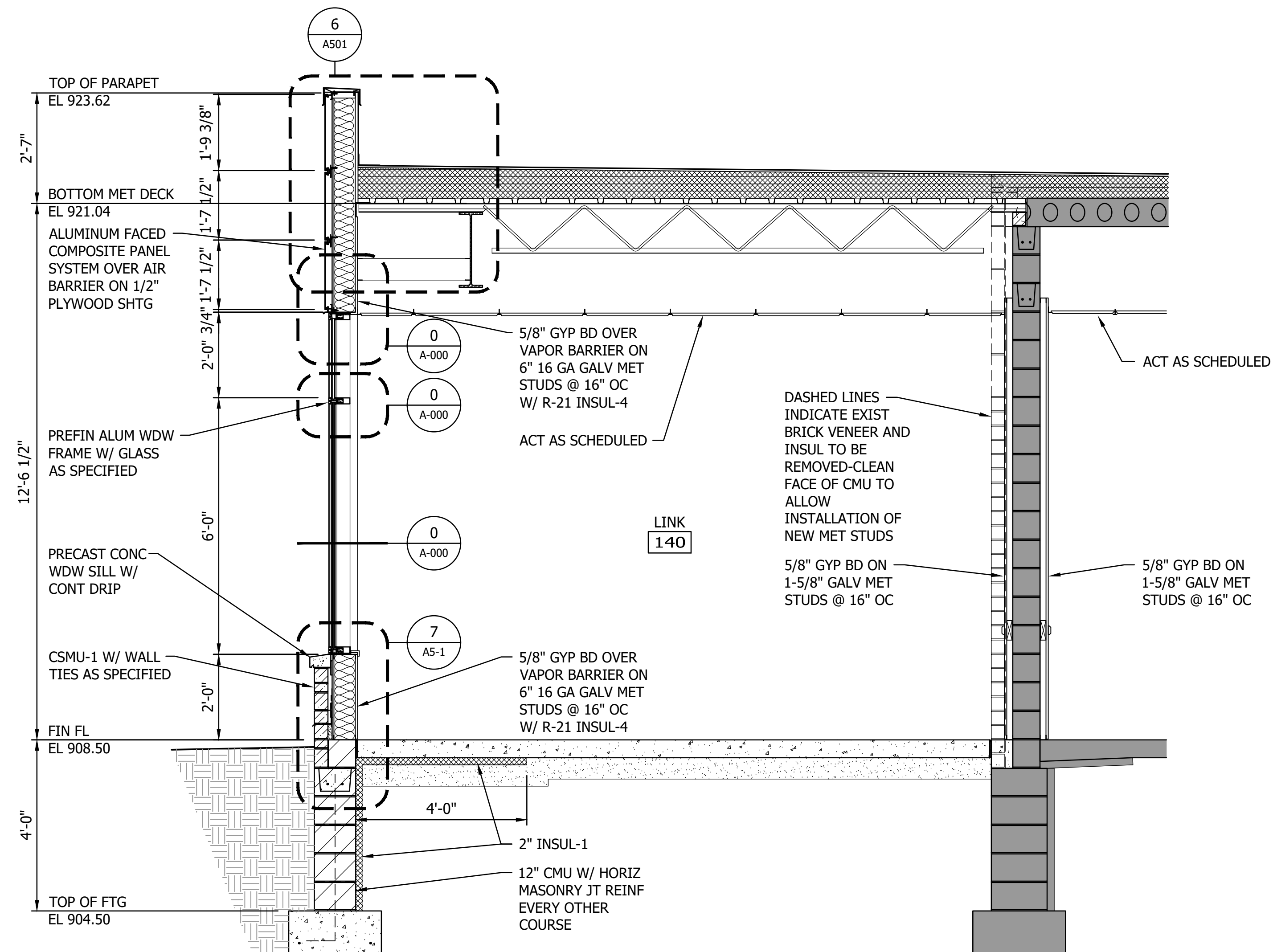
SURVEY	BPP

PROJ. NO. 19380649  
 SHEET NUMBER  
**A301**

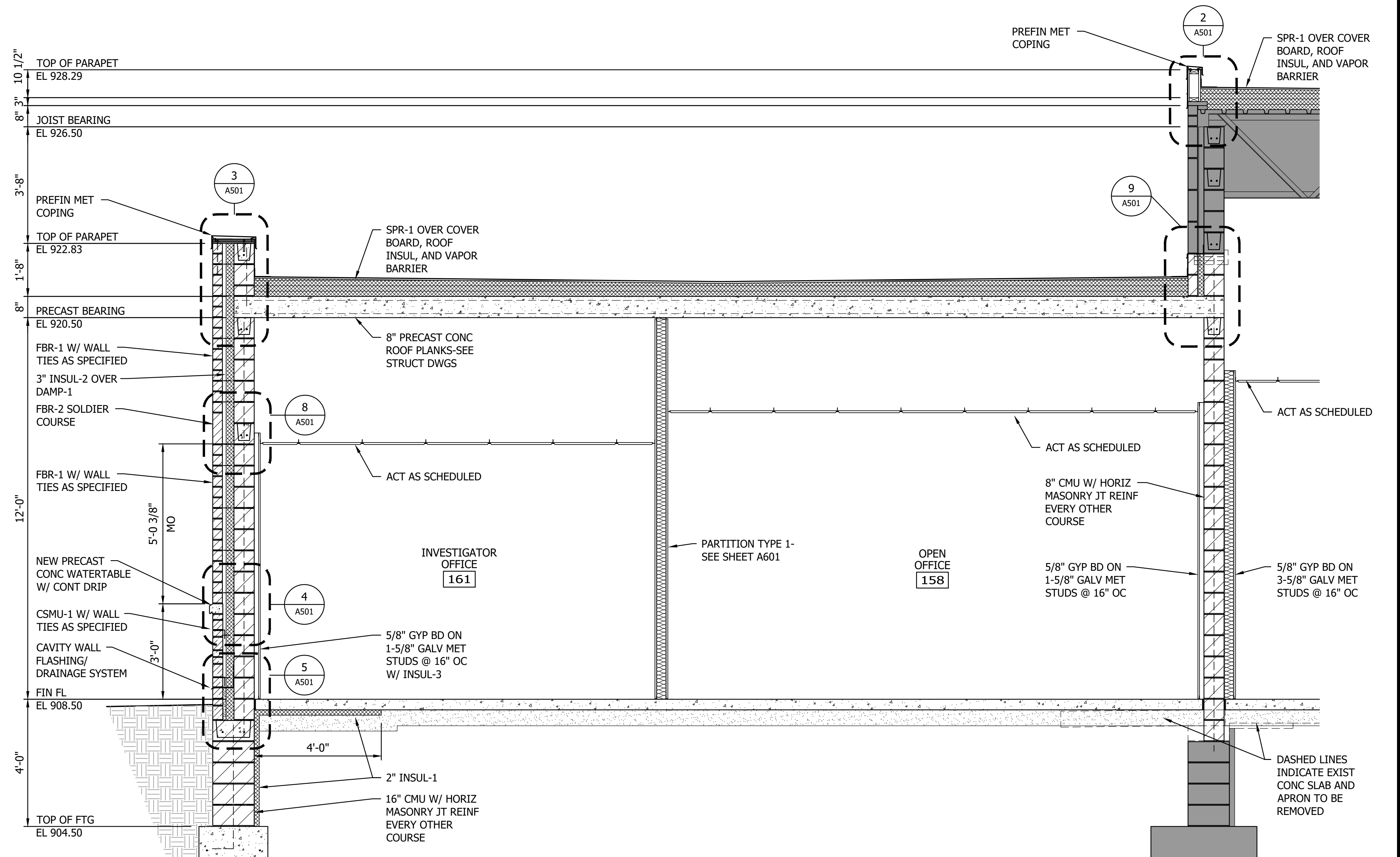
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DRAWINGS ARE THE PROPERTY OF STANTEC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



1 WALL SECTION AT NORTH VESTIBULE 155, LINK 140, AND SOUTH VESTIBULE 101

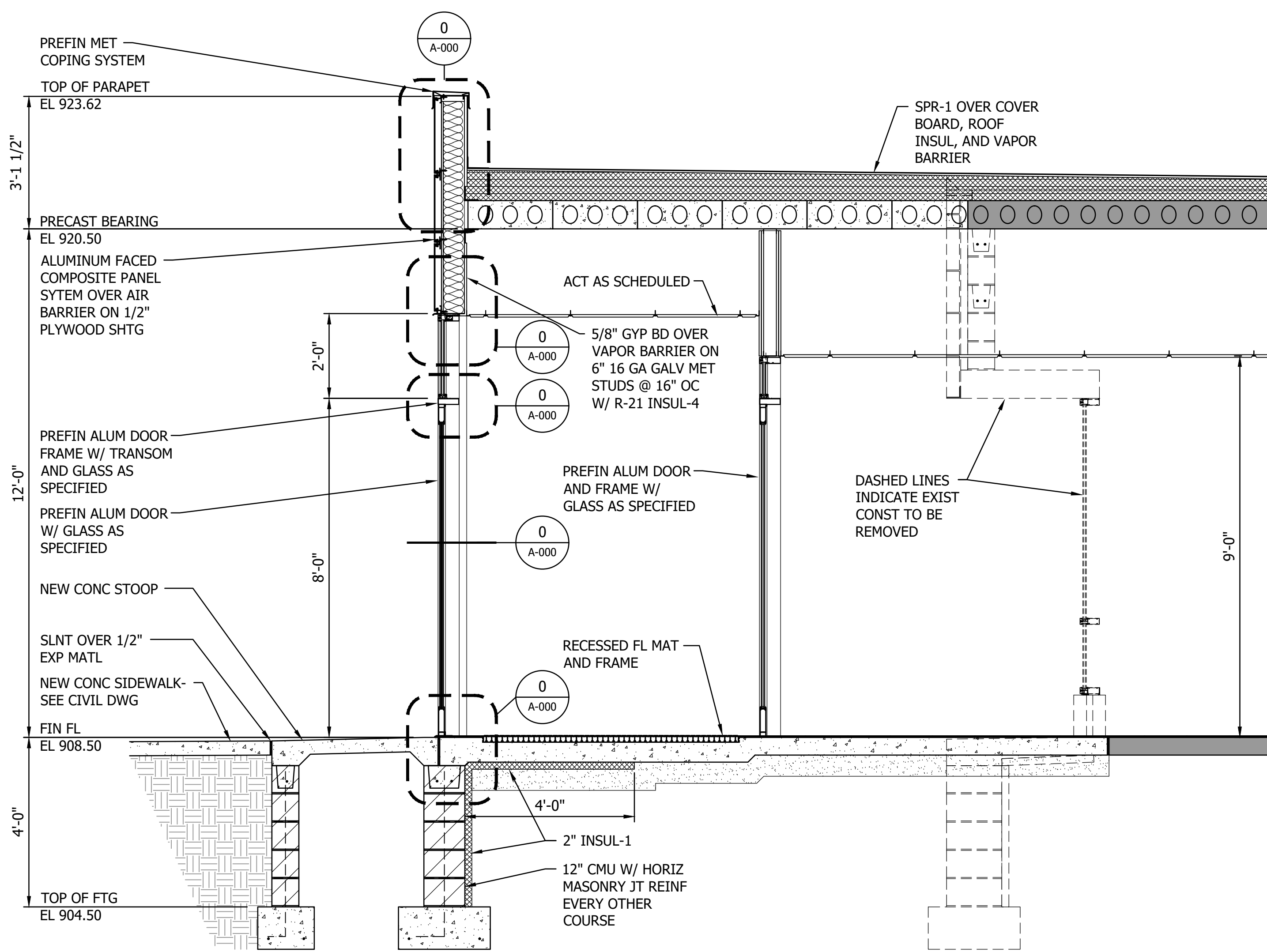


2 WALL SECTION AT LINK 140

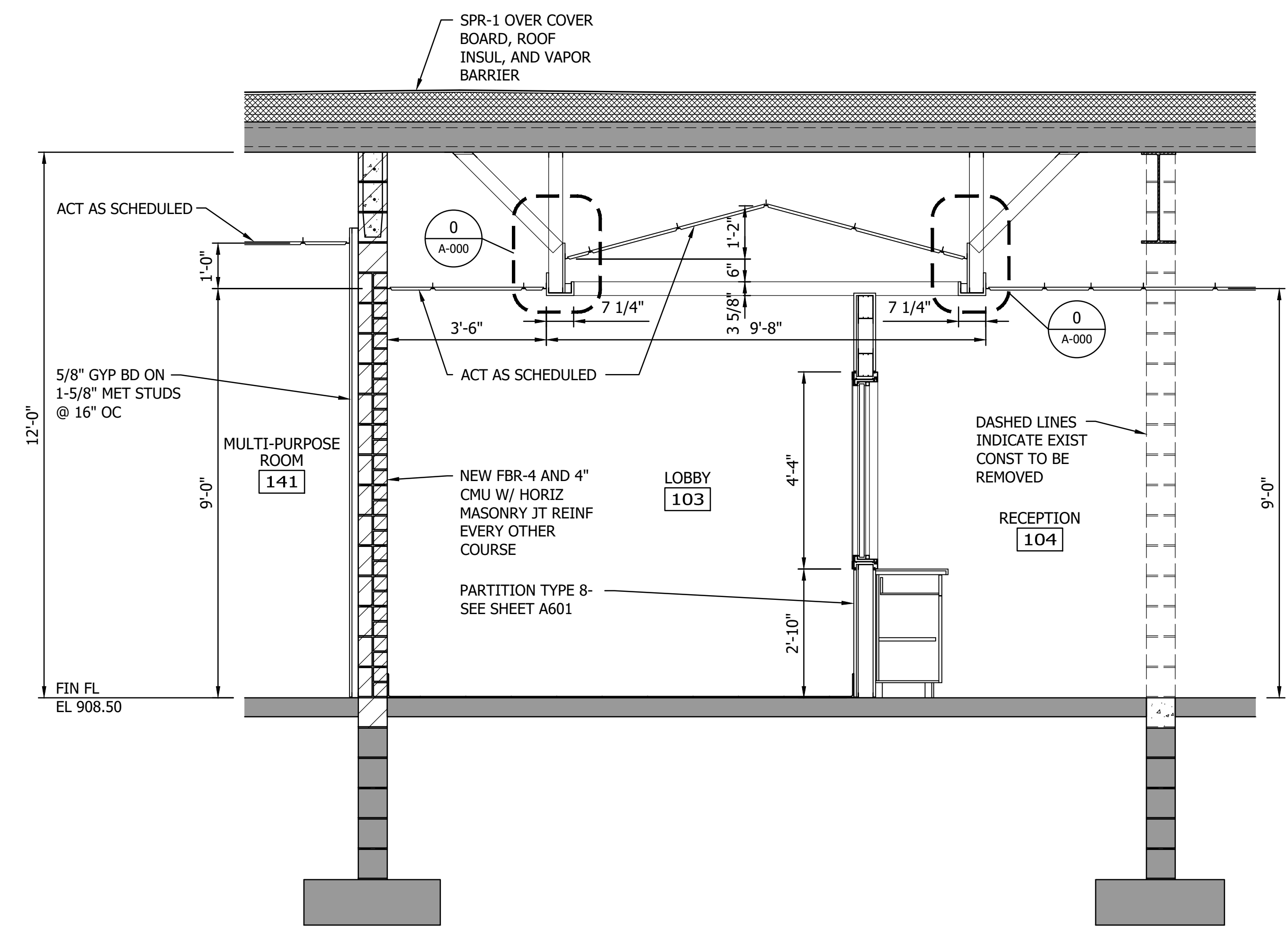


3 WALL SECTION

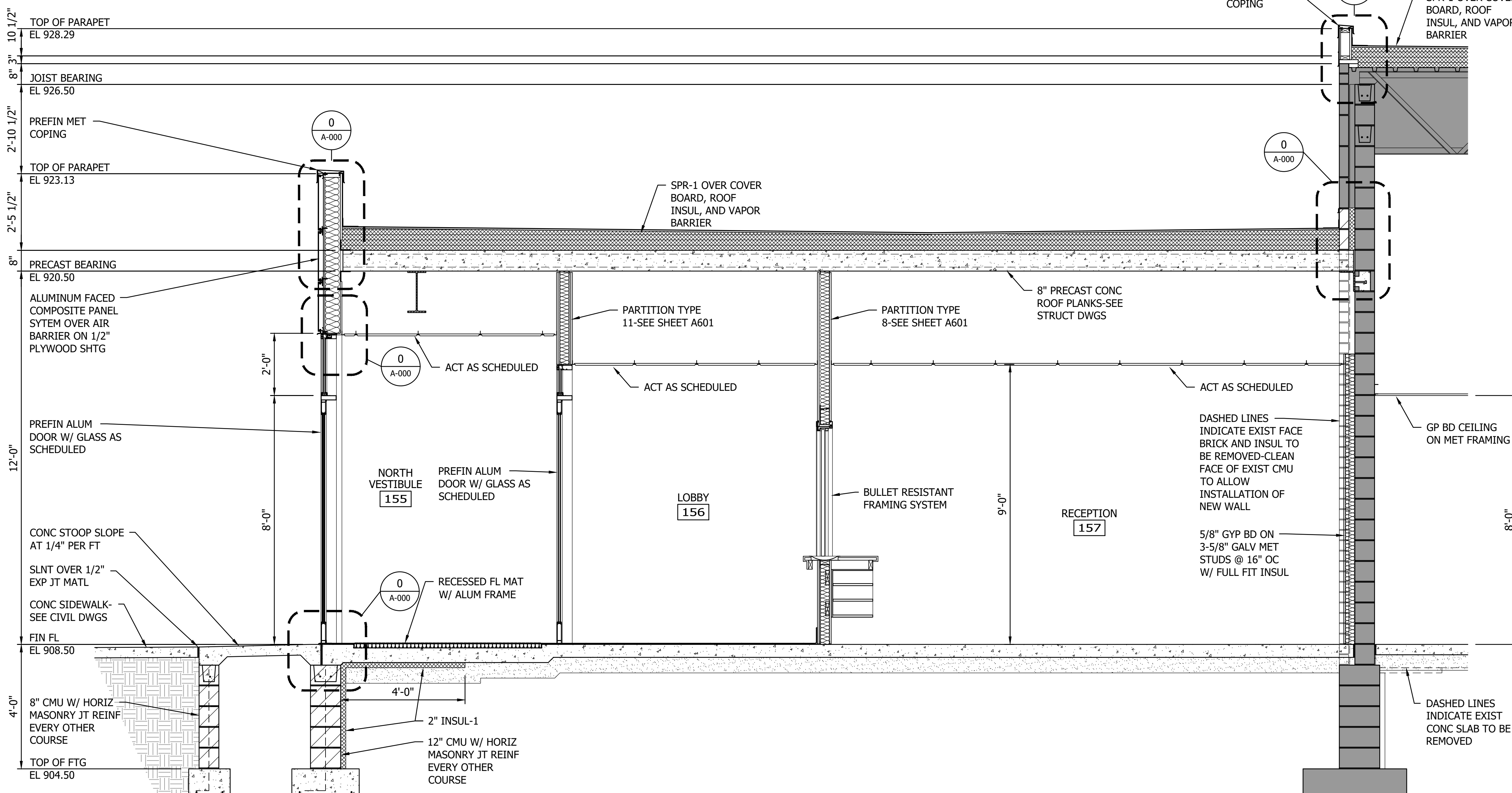
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DRAWINGS ARE THE PROPERTY OF STANTEC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



1 WALL SECTION AT SOUTH VESTIBULE 101

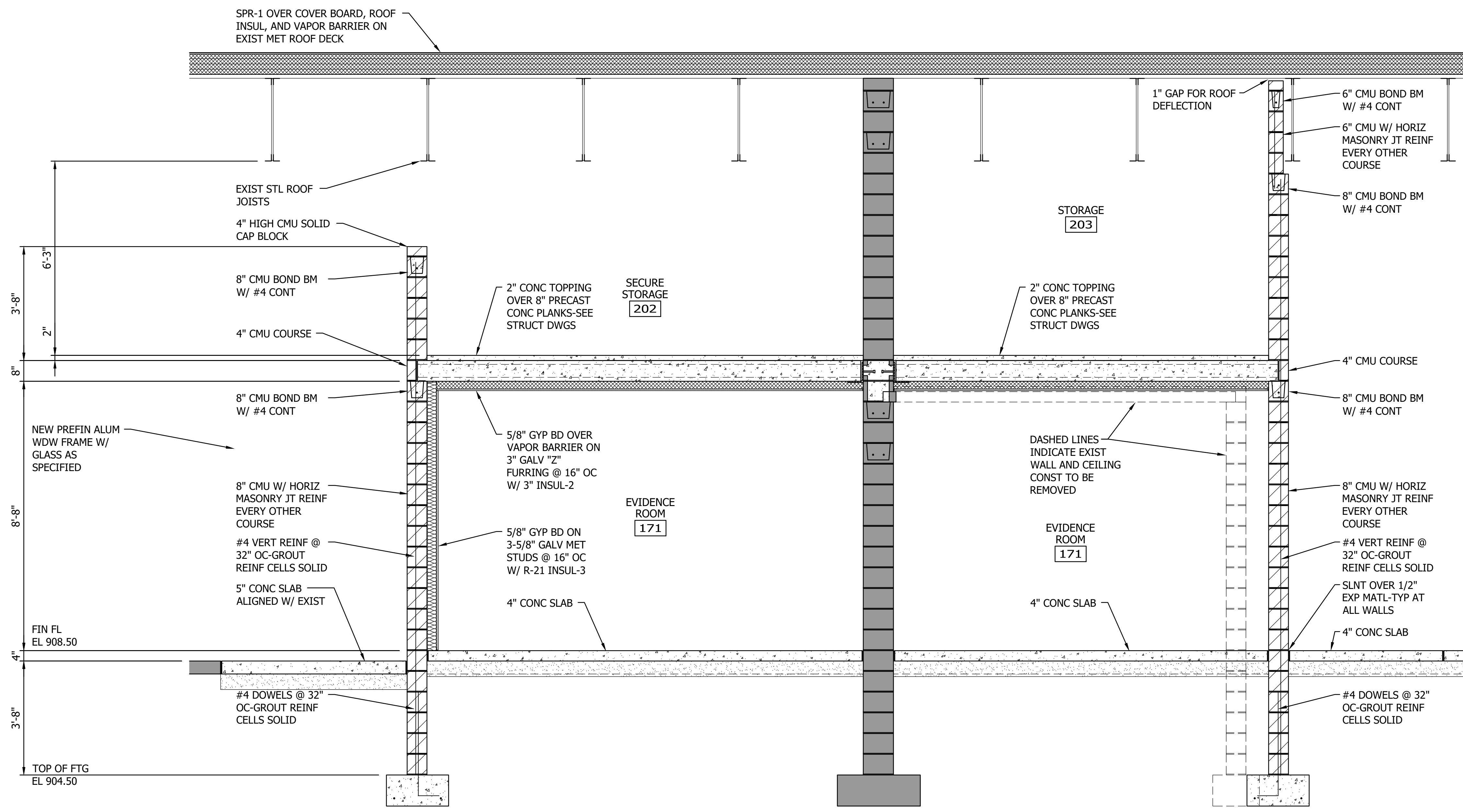


2 WALL SECTION AT SOUTH VESTIBULE 102



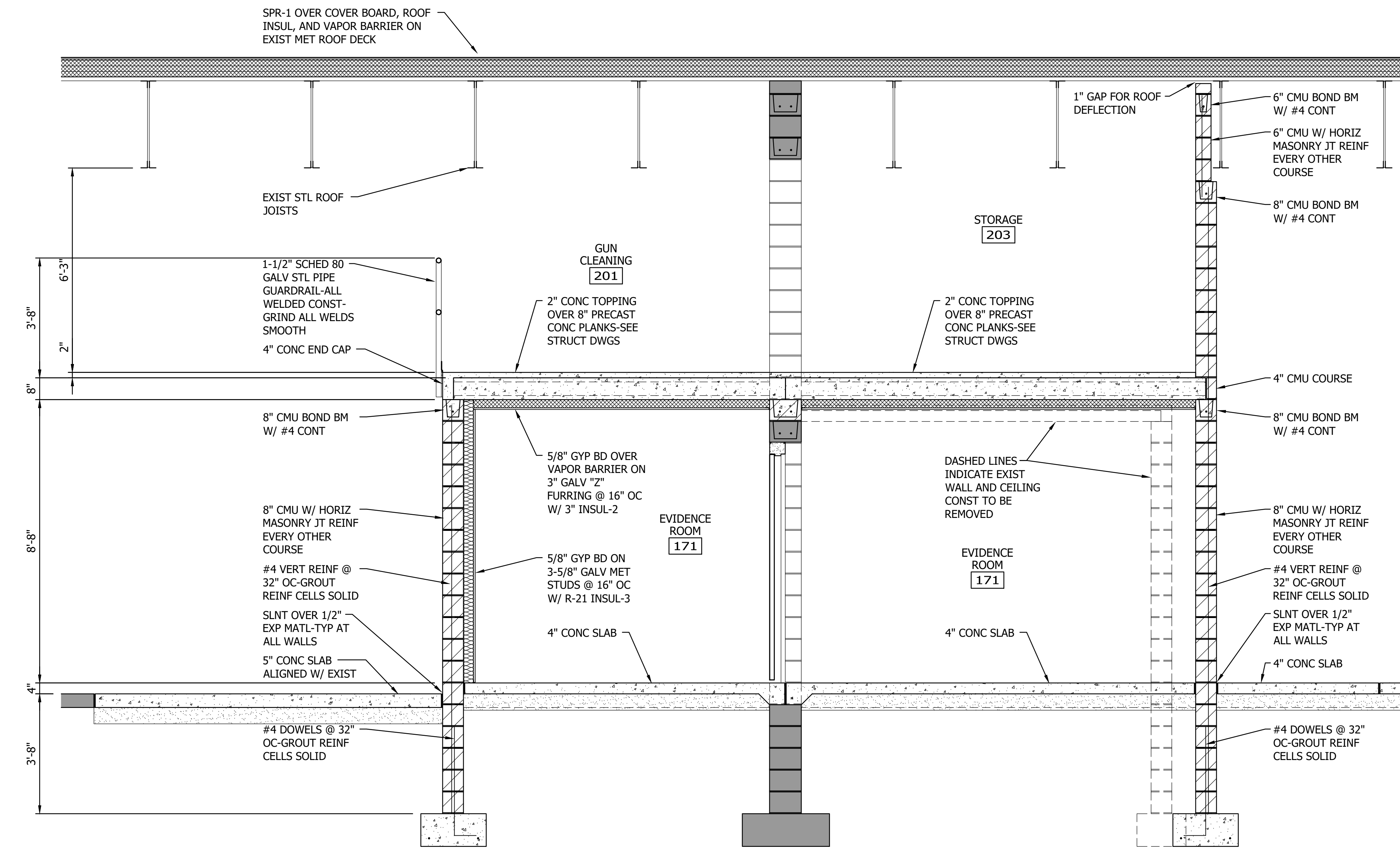
3 WALL SECTION AT NORTH VESTIBULE 103

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND DRAWINGS ARE THE PROPERTY OF STANTEC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



1 WALL SECTION

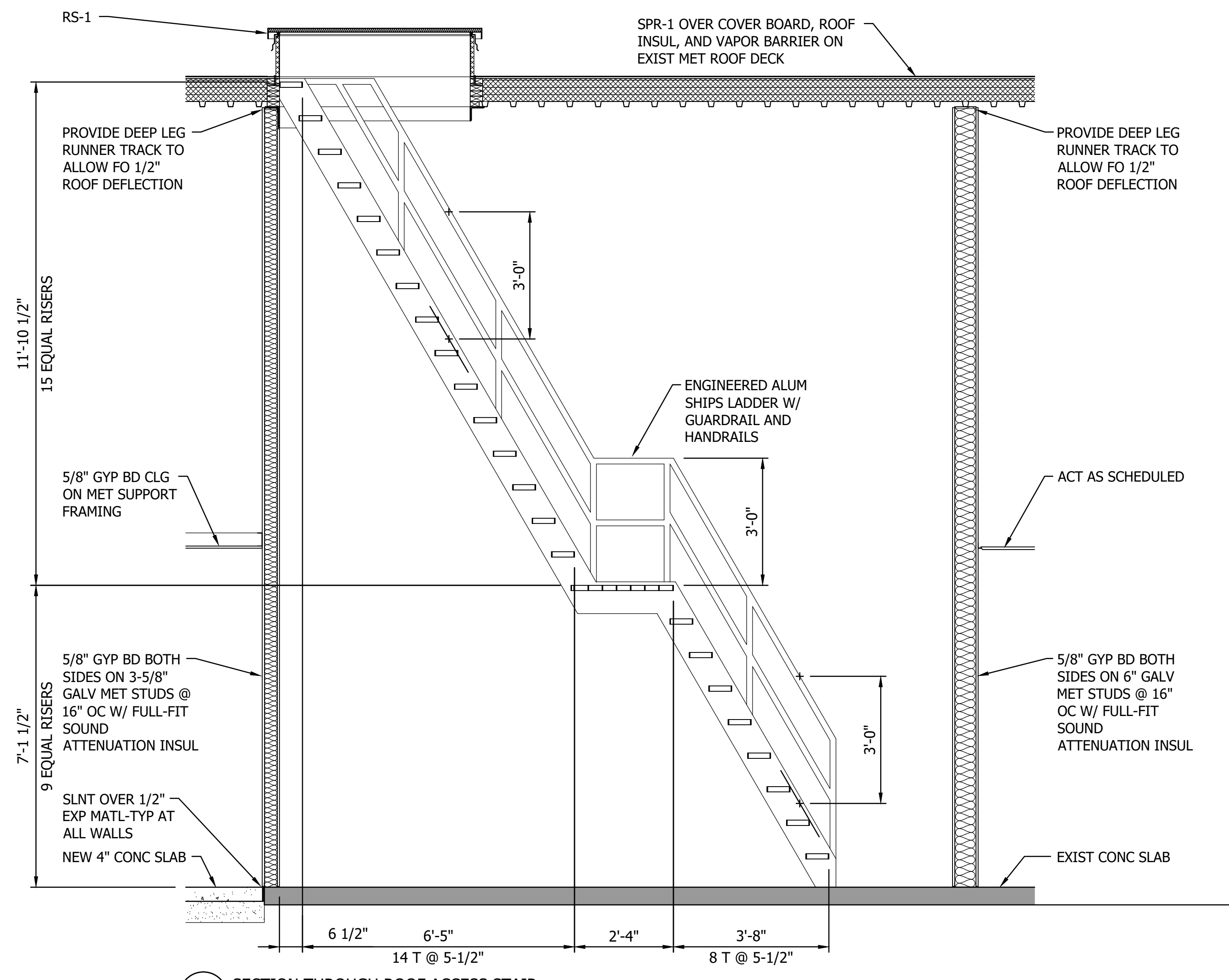
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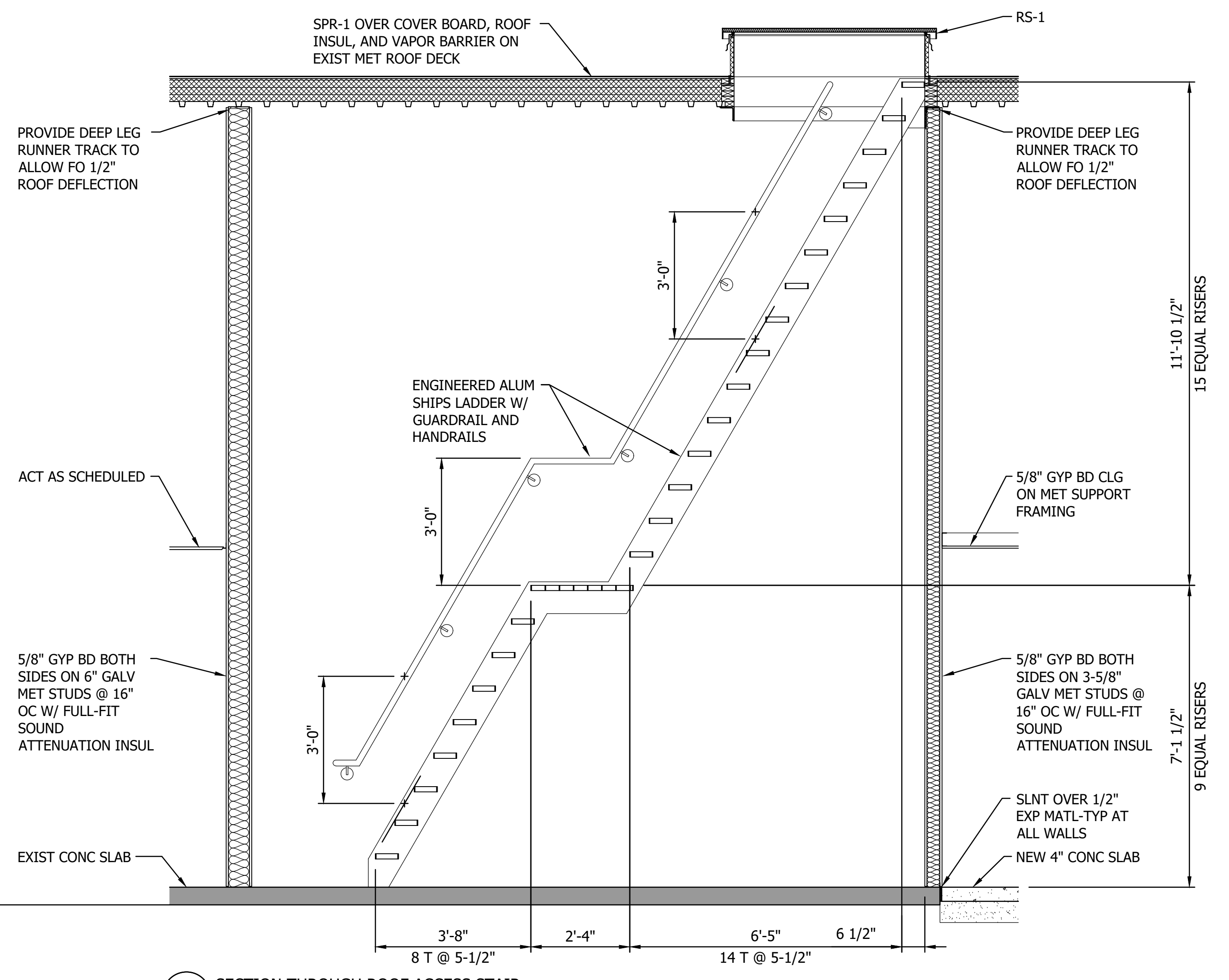
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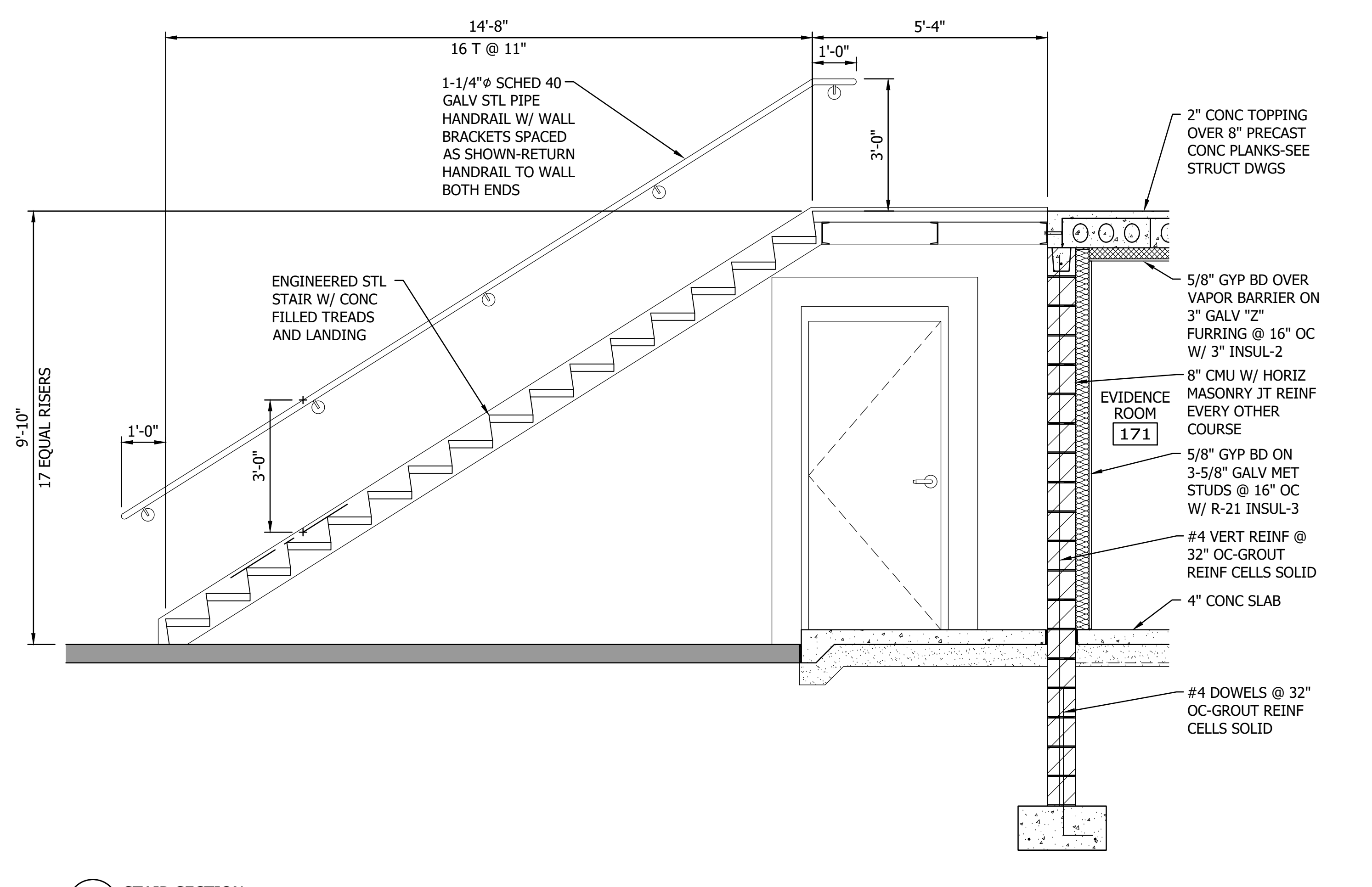
Rev Dates: 09/07/2022 - 8:59PM (1) 193806047.dwg (Project) 193806047.dwg (193806047.dwg) 193806047.dwg (193806047.dwg) 193806047.dwg (193806047.dwg) 193806047.dwg (193806047.dwg)



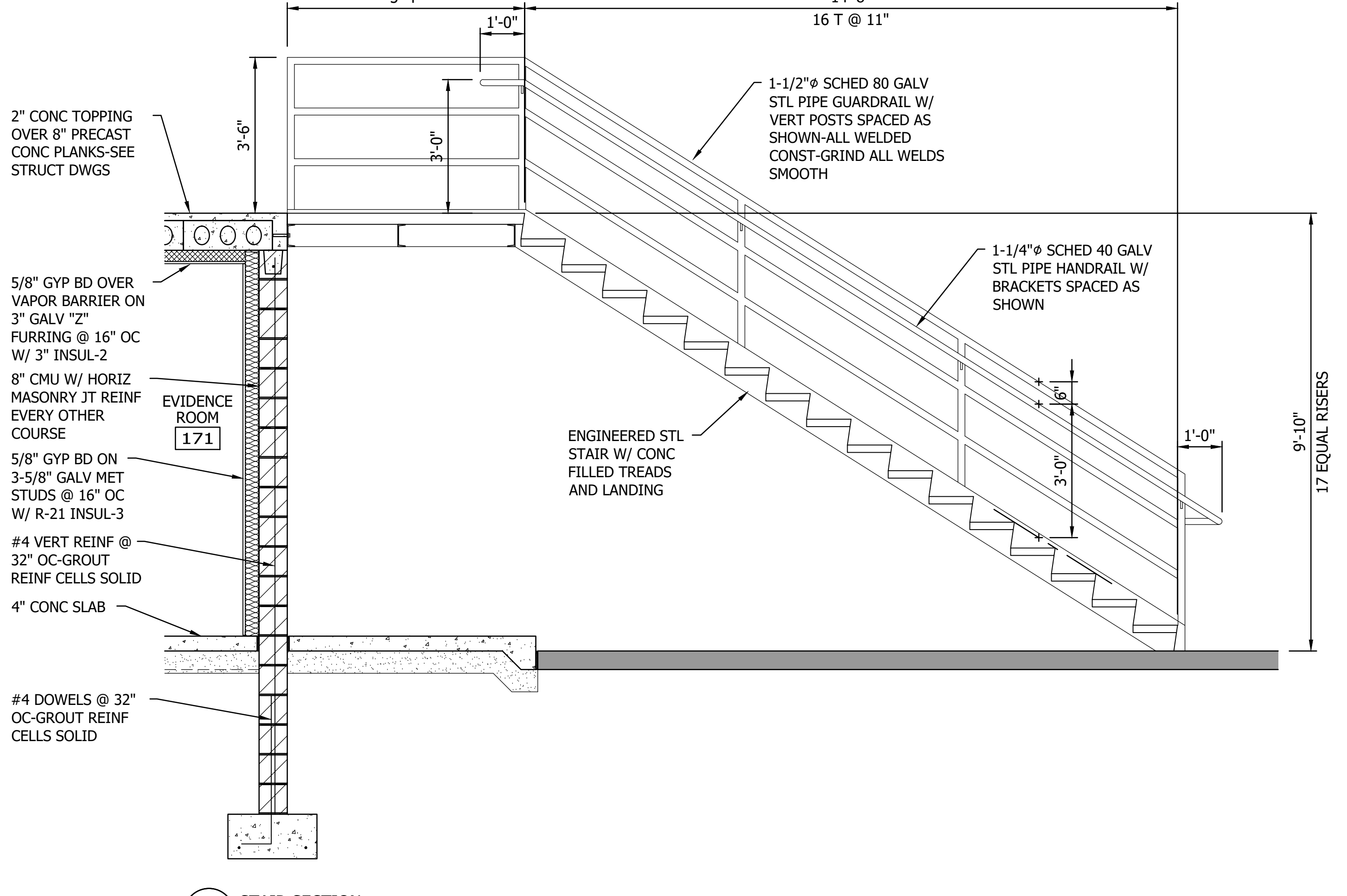
1 SECTION THROUGH ROOF ACCESS STAIR



2 SECTION THROUGH ROOF ACCESS STAIR



3 STAIR SECTION



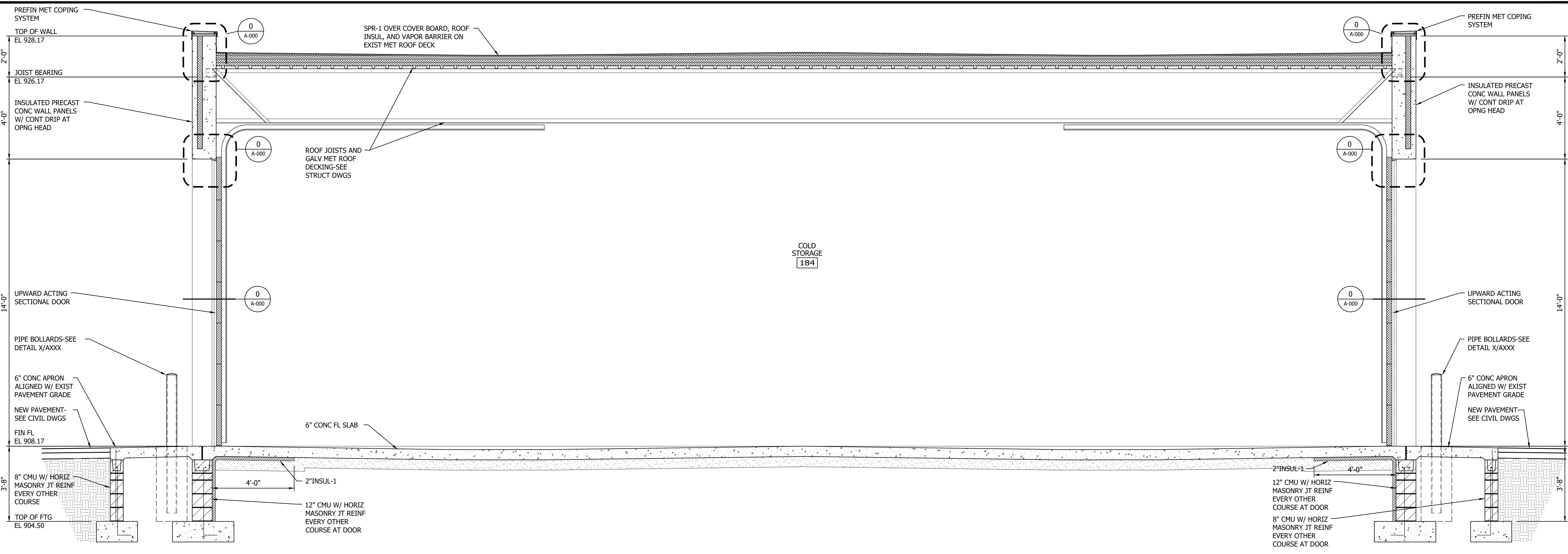
4 STAIR SECTION

Rev Date: 09/07/2023 - 8:59am  
 DRAWN BY: JRS  
 CHECKED BY: JRS  
 PROJECT: 193806049 - City of Spring Lake Park - City Hall Renovation/Expansion

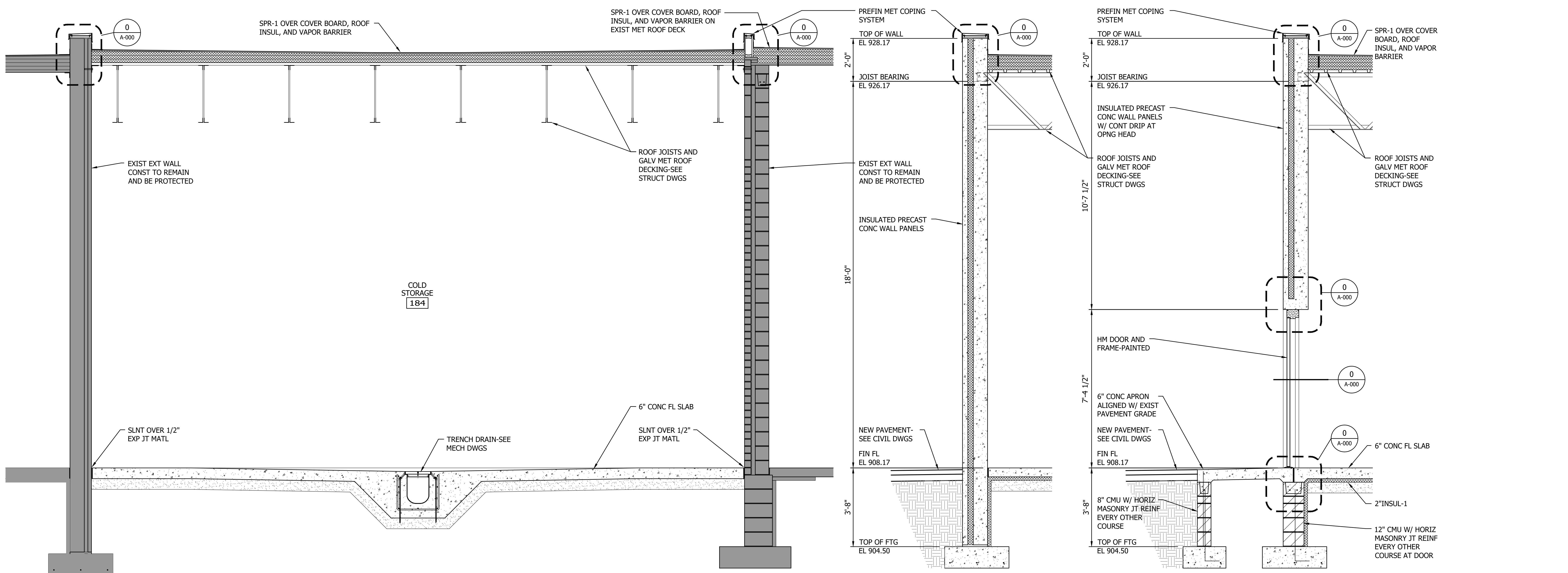
NO.	REVISION	DATE

SURVEY \_\_\_\_\_  
 DRAWN BY: JRS  
 DESIGNED BY: JRS  
 CHECKED BY: JRS  
 APPROVED \_\_\_\_\_  
 PROJ. NO.: 193806049  
 SHEET NUMBER  
**A305**

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ALL DIMENSIONS ARE TO FACE UNLESS SPECIFICALLY NOTED OTHERWISE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DRAWINGS ARE THE PROPERTY OF STANTEC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



1 BUILDING SECTION  
0 1' 2' 4'



2 BUILDING SECTION  
0 1' 2' 4'

3 WALL SECTION  
0 1' 2' 4'

4 WALL SECTION  
0 1' 2' 4'



733 Marquette Avenue, Suite 1000  
Minneapolis, MN 55402  
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PROJECT: CITY OF SPRING LAKE PARK, MINNESOTA  
CITY HALL RENOVATION/EXPANSION  
BUILDING AND WALL SECTIONS  
DATE: 08/28/2024  
SCALE: AS SHOWN  
DRAWN BY: BPP  
DESIGNED BY: BPP  
CHECKED BY:  
APPROVED BY:  
PROJECT NO.: 193806049  
SHEET NUMBER:  
**A306**

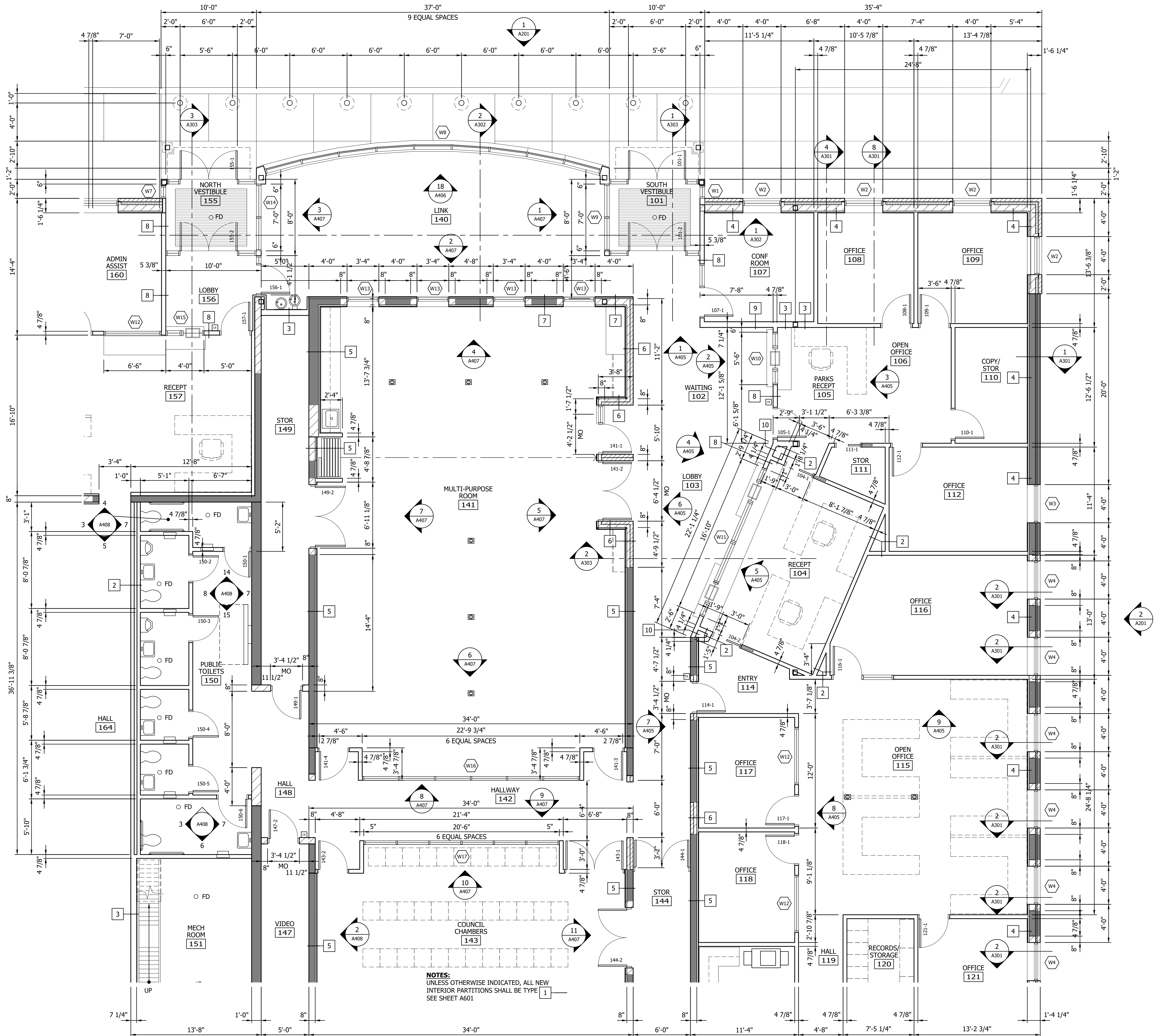
CITY OF SPRING LAKE PARK, MINNESOTA  
CITY HALL RENOVATION/EXPANSION  
BUILDING AND WALL SECTIONS

NO	REVISION	DATE

Plot Date: 09/07/2024 8:41am  
User: bpp  
Project: 193806049\_City Hall Renovation/Expansion  
Sheet: 193806049\_A306.dwg  
Title: 193806049\_A306.dwg

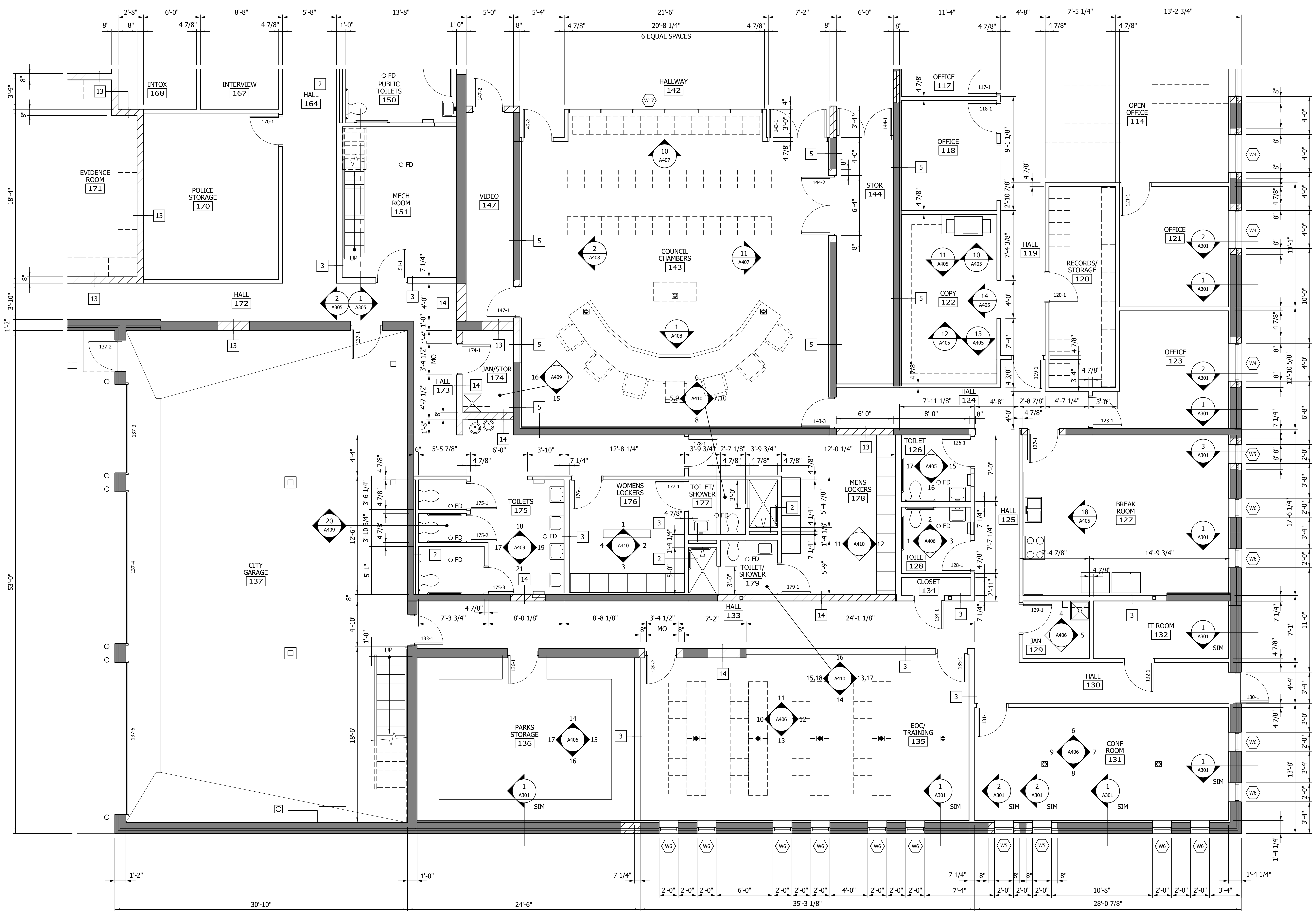
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS NOTED OTHERWISE. REPRODUCTION OF THIS DRAWING FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Plot Date: 09/07/2023 8:48am  
 Project: 193806049 - City of Spring Lake Park, Minnesota  
 User: J. B. R. / 193806049-01.dwg



**NOTES:**  
 UNLESS OTHERWISE INDICATED, ALL NEW INTERIOR PARTITIONS SHALL BE TYPE 1  
 SEE SHEET A601

**1 PARTIAL ENLARGED FLOOR PLAN**  
 0 2' 4' 8'



1 PARTIAL ENLARGED FLOOR PLAN  
0 2' 4' 8'

**NOTES:**  
UNLESS OTHERWISE INDICATED, ALL NEW INTERIOR PARTITIONS SHALL BE TYPE SEE SHEET A601

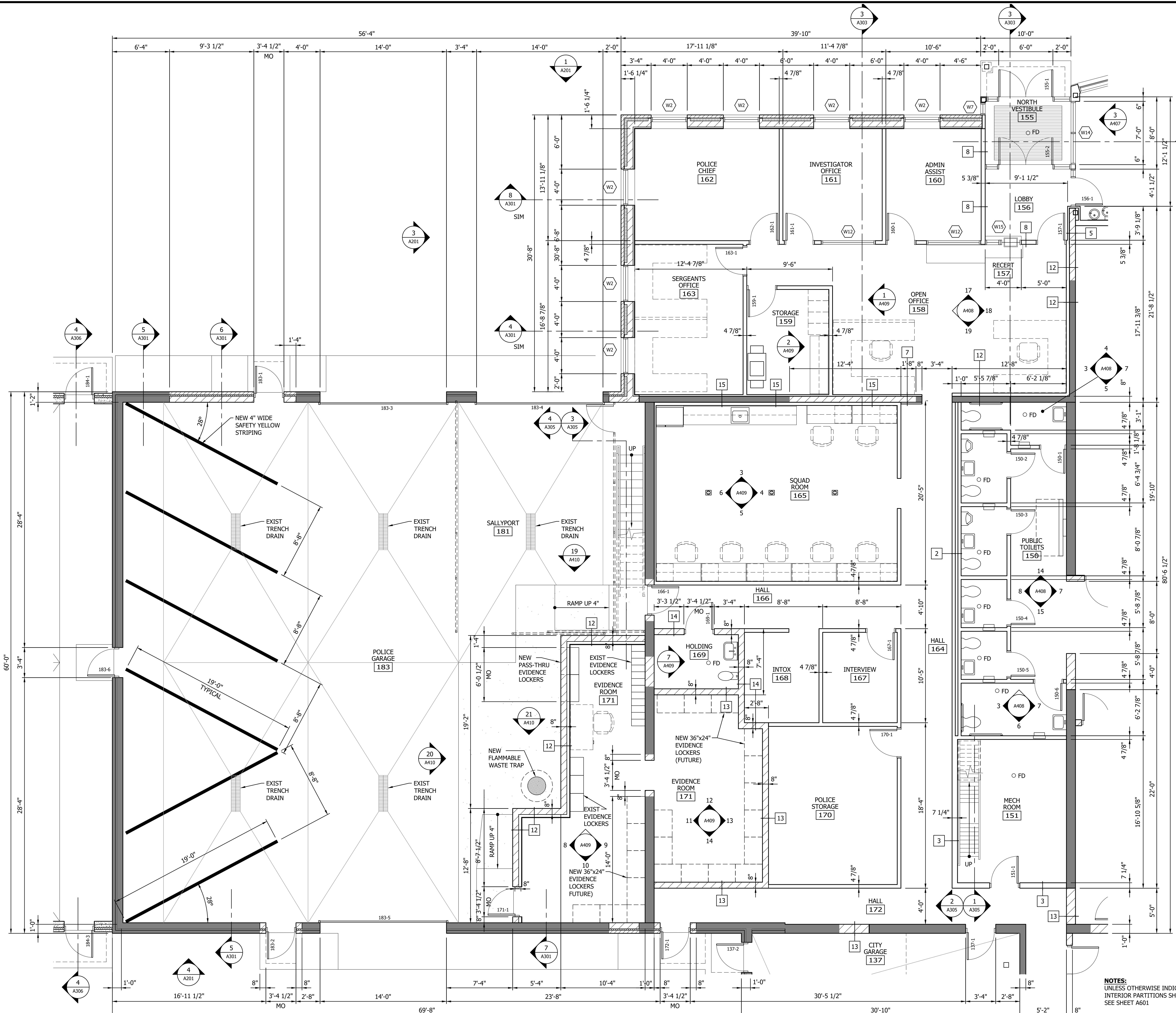
NO.	REVISION	DATE

SURVEY	BFP
DRAWN	BFP
DESIGNED	BFP
CHECKED	
APPROVED	
PROJ. NO.	19386049
SHEET NUMBER	A402



THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING.



NOTES:  
 UNLESS OTHERWISE INDICATED, ALL NEW INTERIOR PARTITIONS SHALL BE TYPE 1 SEE SHEET A601

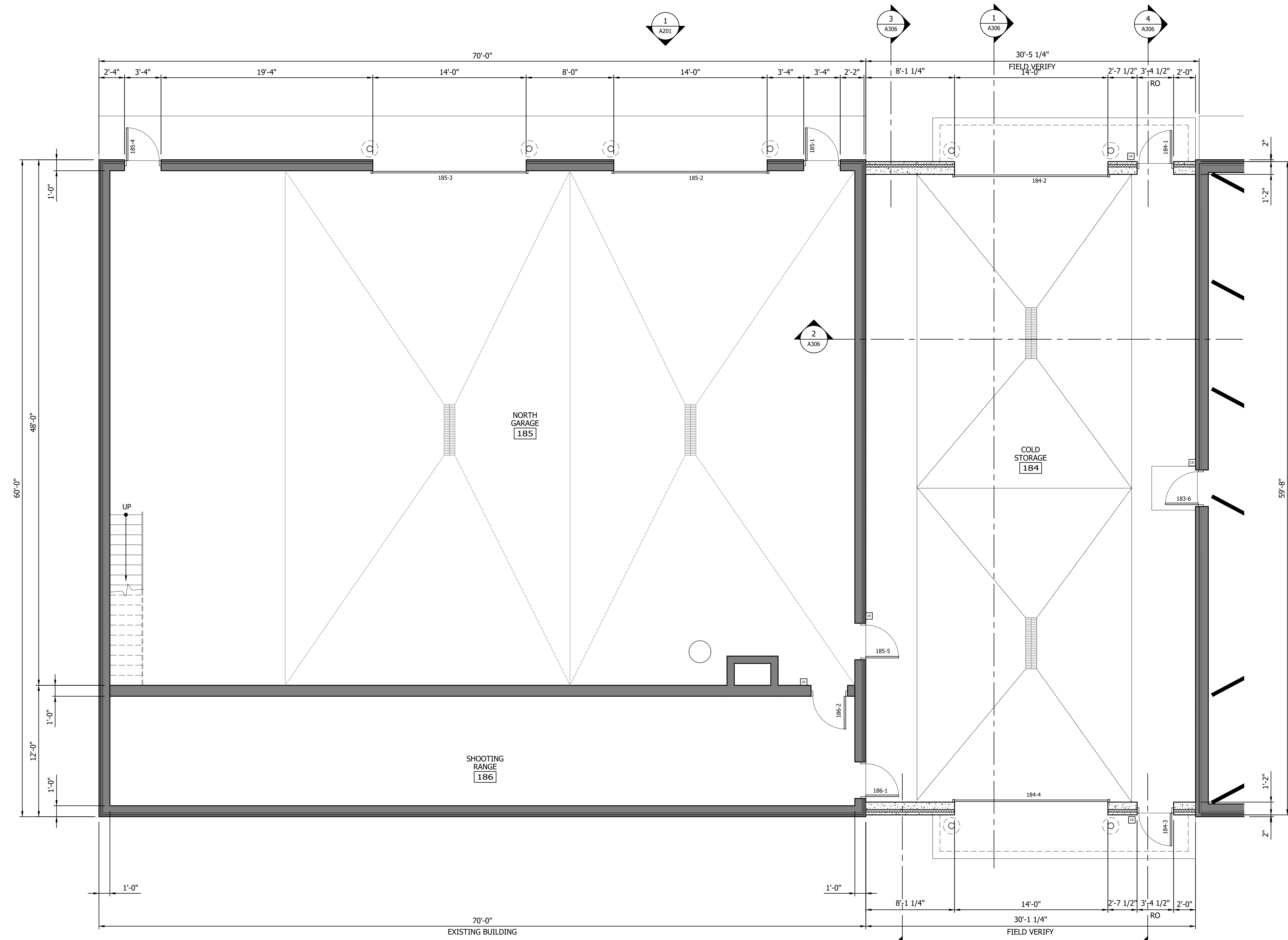
1 PARTIAL ENLARGED FLOOR PLAN  
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Per Date: 09/07/2023, 8:45am  
 Project: 19380649\_CAD (Dwg) | 19380649\_A601.rvt  
 Author: 19380649\_1714\_19380649\_828

NO	REVISION	DATE

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS SPECIFICALLY NOTED OTHERWISE. REPRODUCTION OF THIS DRAWING FOR ANY PURPOSES OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Plot Date: 09/07/2023 8:45am  
 User: j19385363\j19385363  
 Project: 19385363 - City of Spring Lake Park, Minnesota - City Hall Renovation/Expansion  
 Drawing: 19385363.dwg  
 Scale: 1/8"=1'-0"



**1 PARTIAL ENLARGED FLOOR PLAN**  
 0 2' 4' 8'

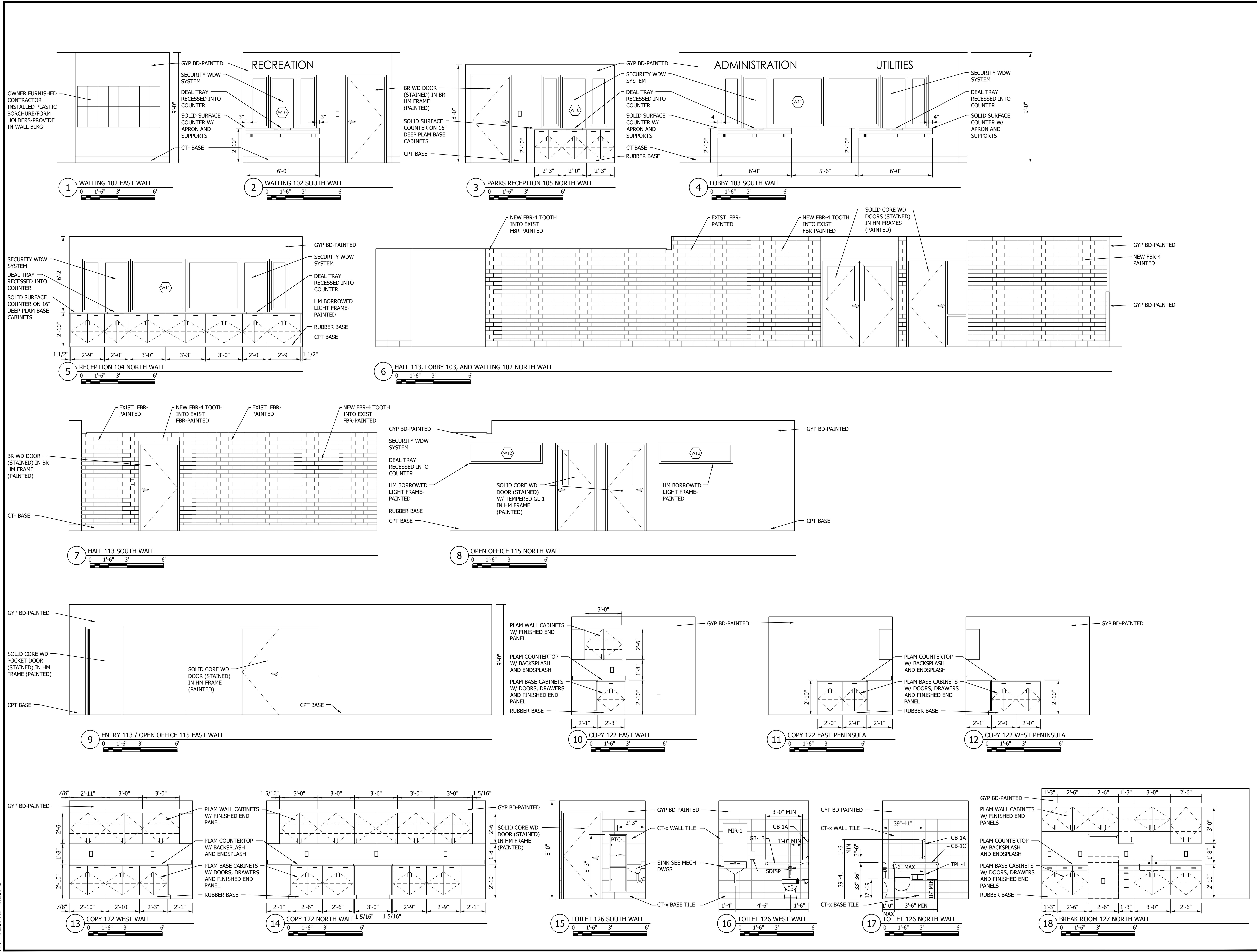
WE HEREBY CERTIFY THAT THE DESIGN AND CONSTRUCTION OF THE PROJECT HAS BEEN PREPARED BY A LICENSED ARCHITECT OR ENGINEER UNDER THE LICENSE OF THE STATE OF MINNESOTA.  
 PRINT NAME: BRUCE E. LABEON  
 SIGNATURE: \_\_\_\_\_  
 DATE: 09/07/2023 LIC. NO.: 28010

CITY OF SPRING LAKE PARK, MINNESOTA  
 CITY HALL RENOVATION/EXPANSION  
 PARTIAL ENLARGED FLOOR PLAN

NO. REVISION DATE

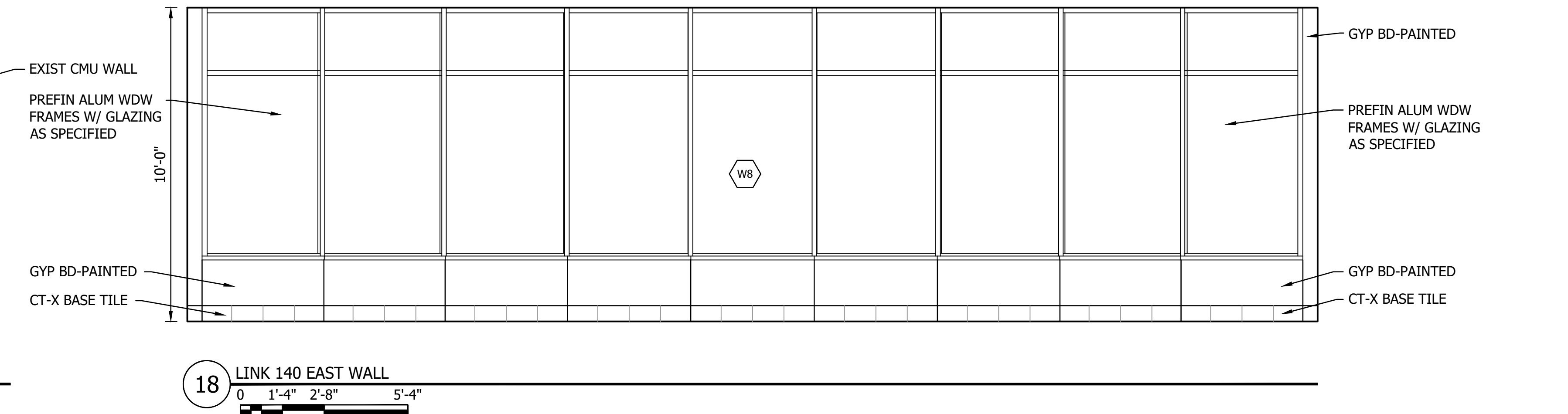
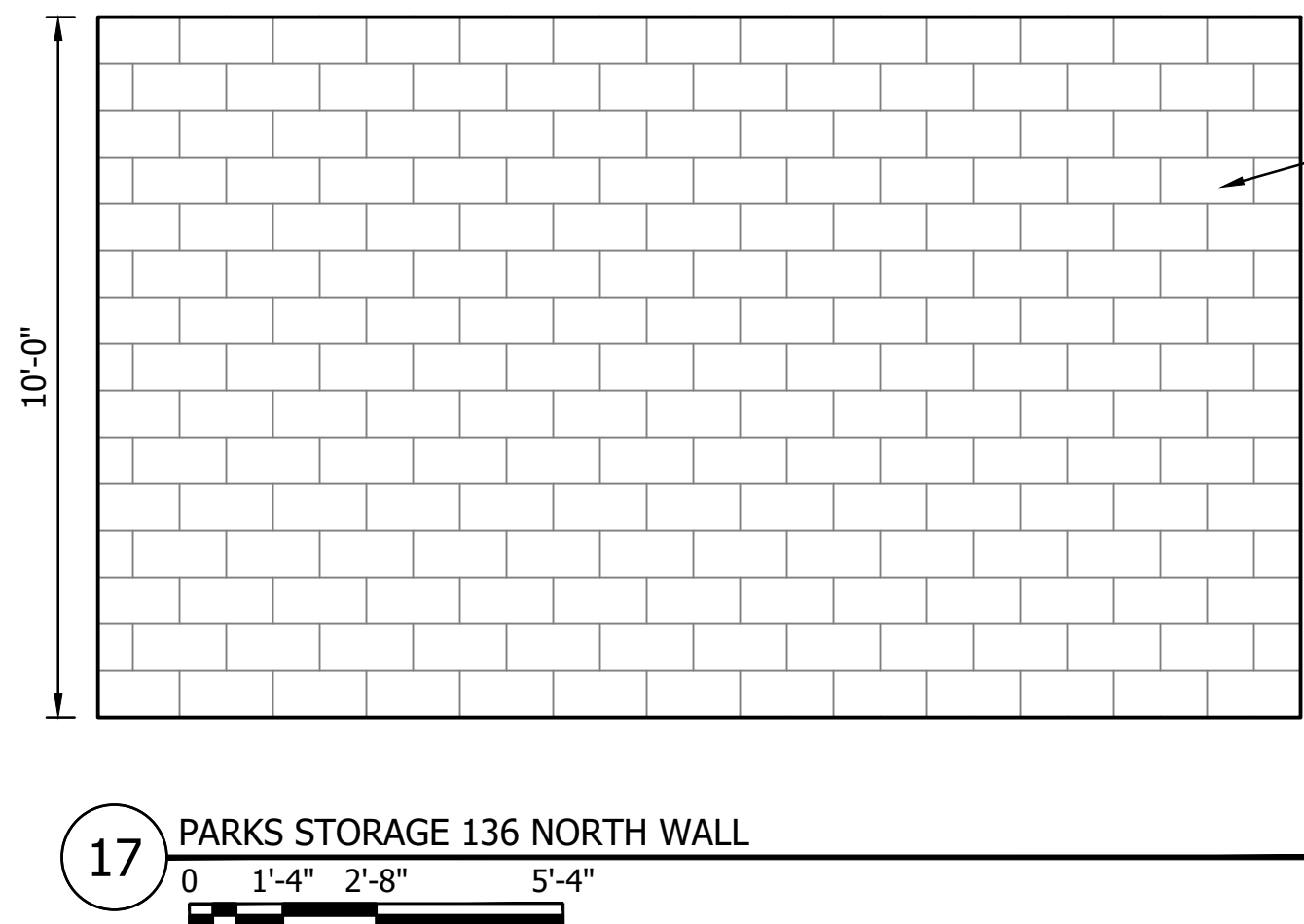
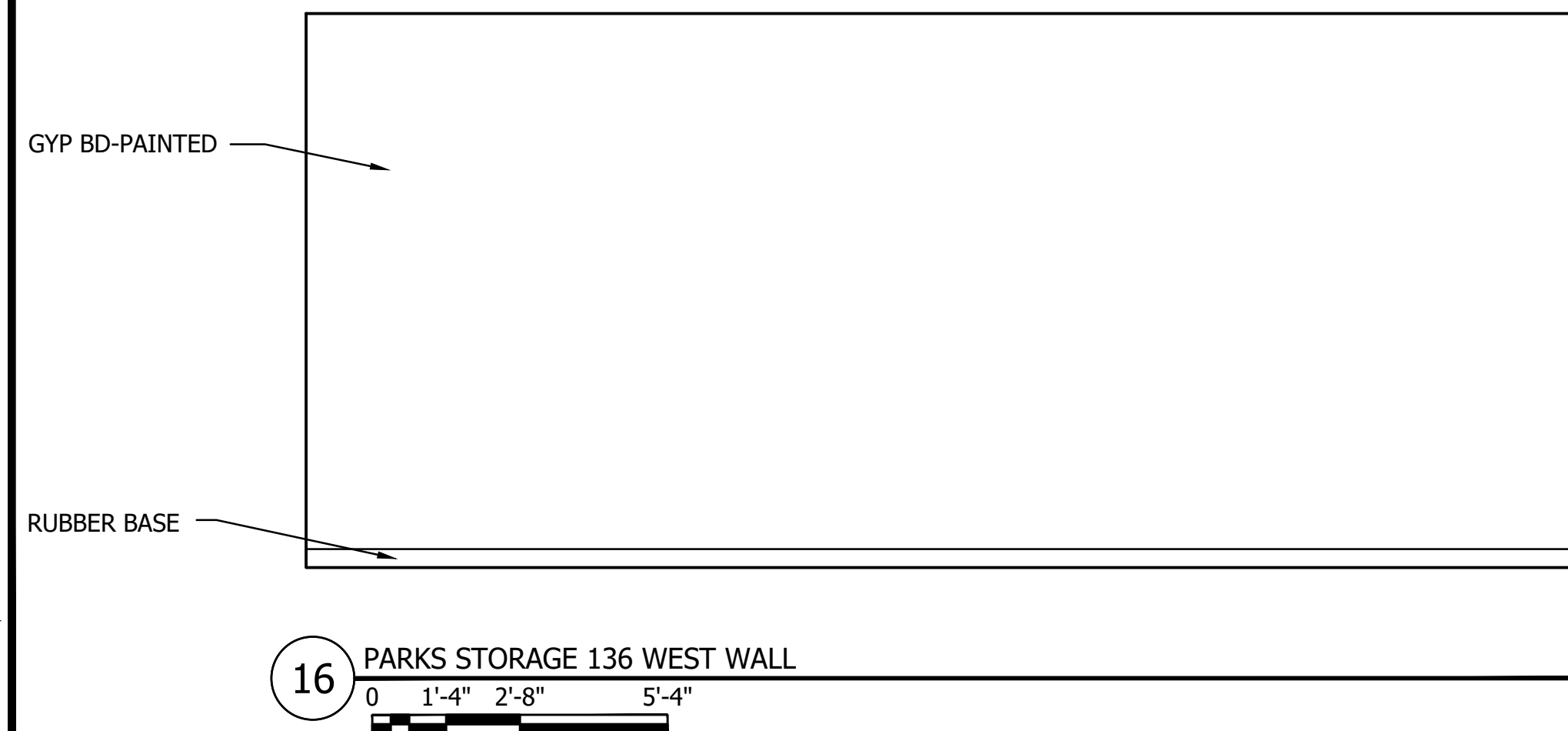
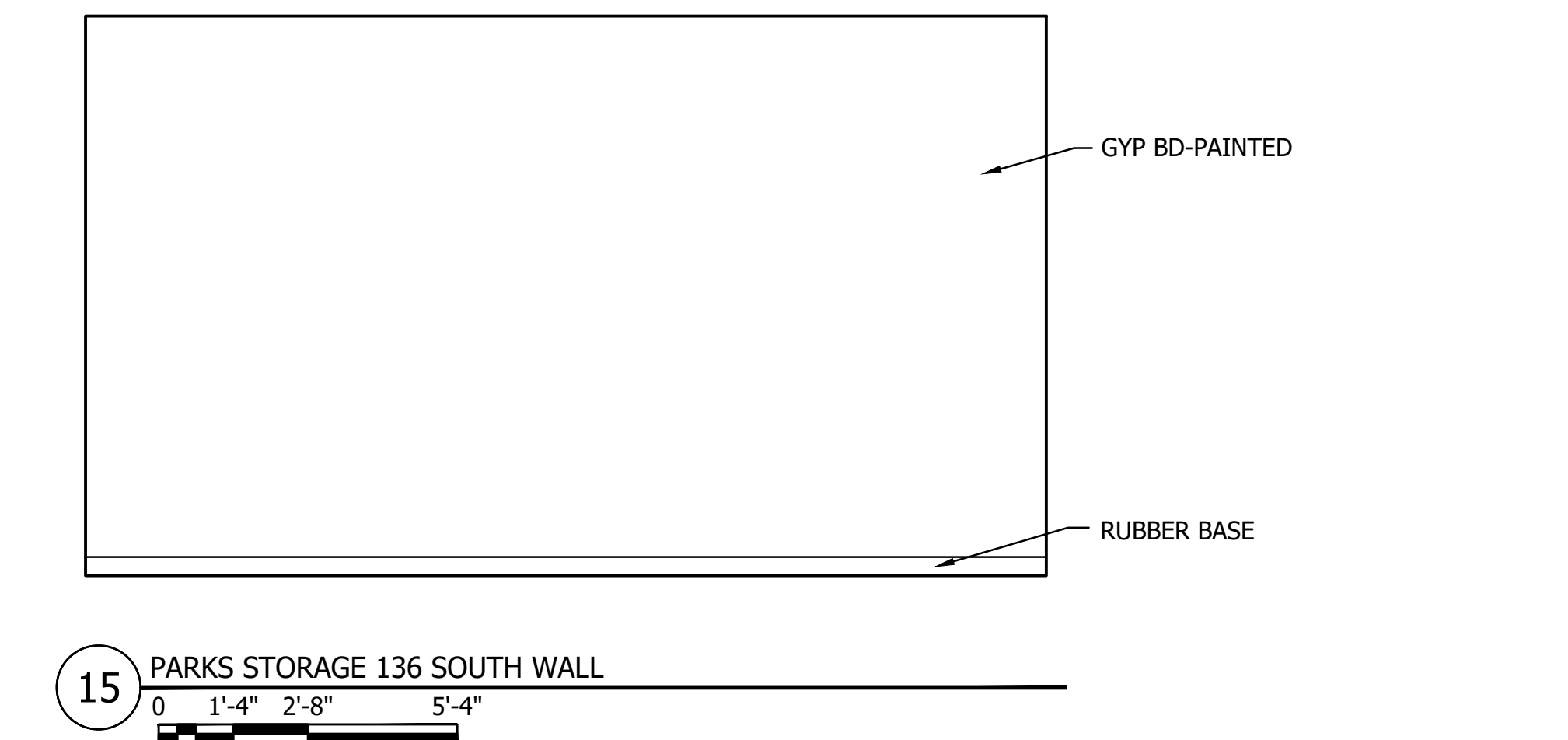
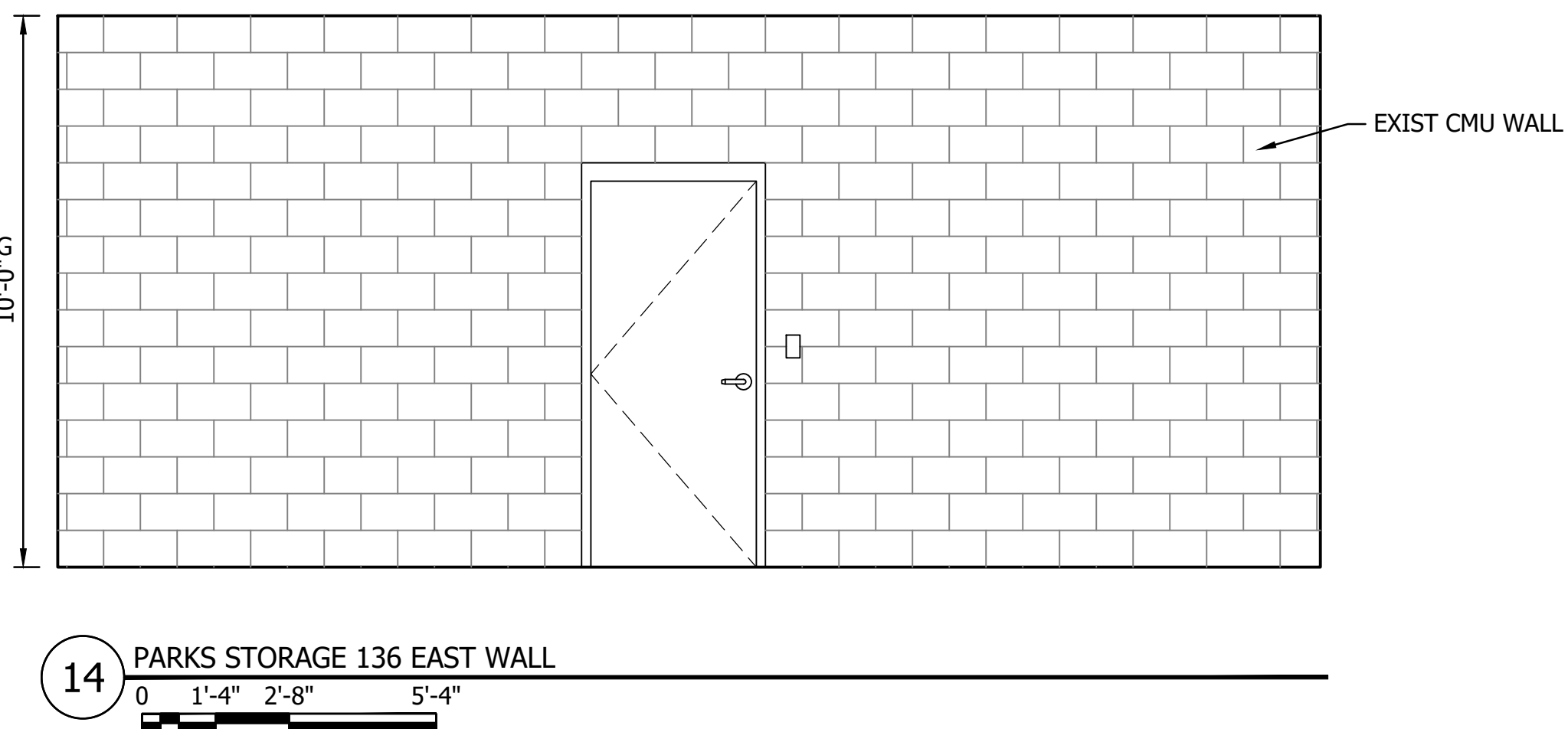
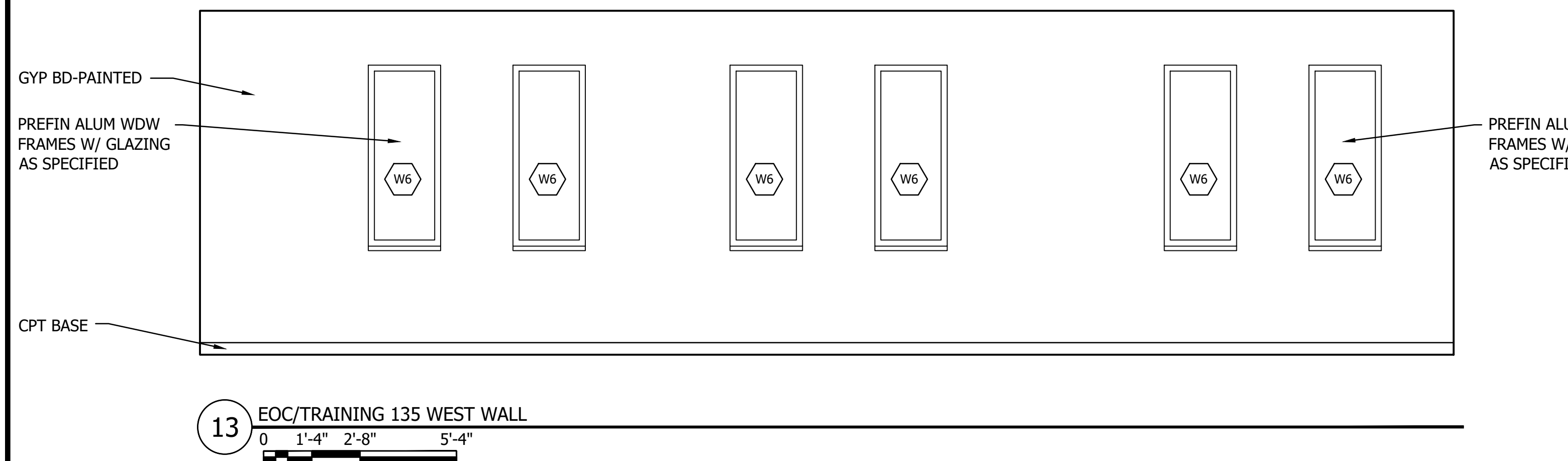
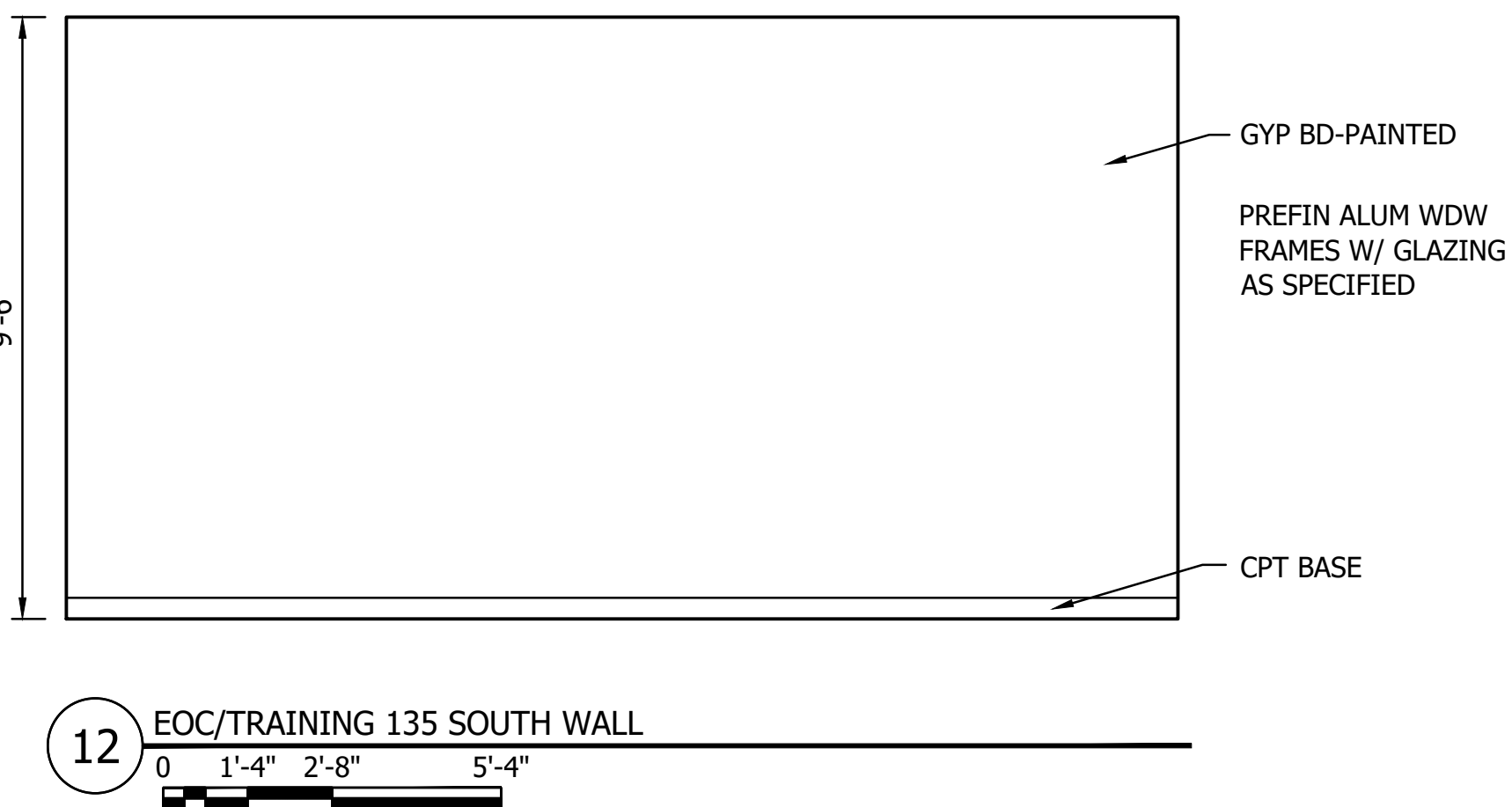
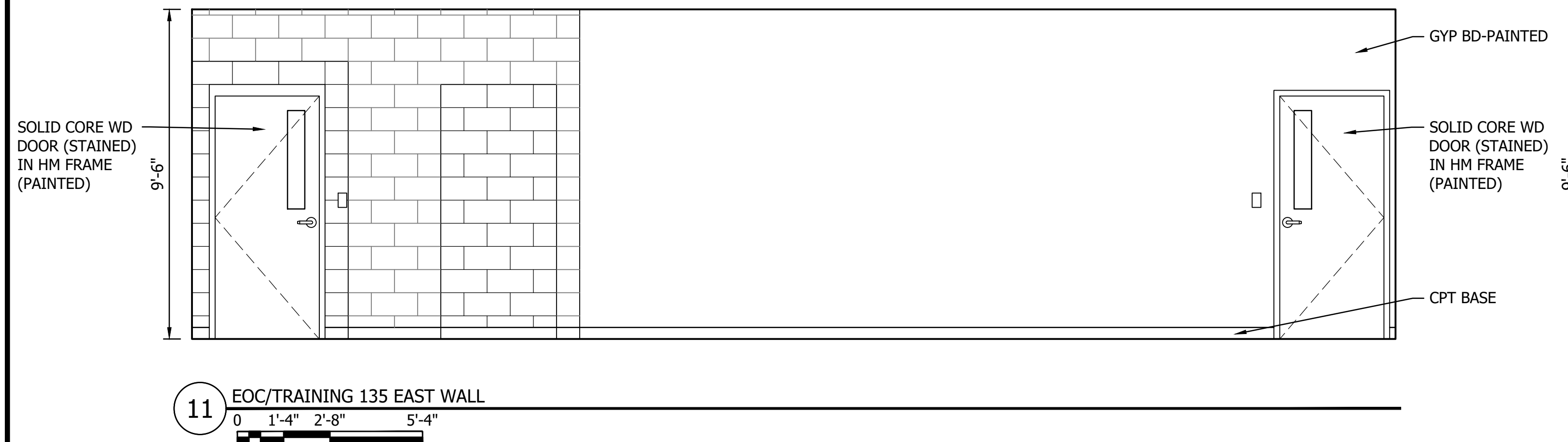
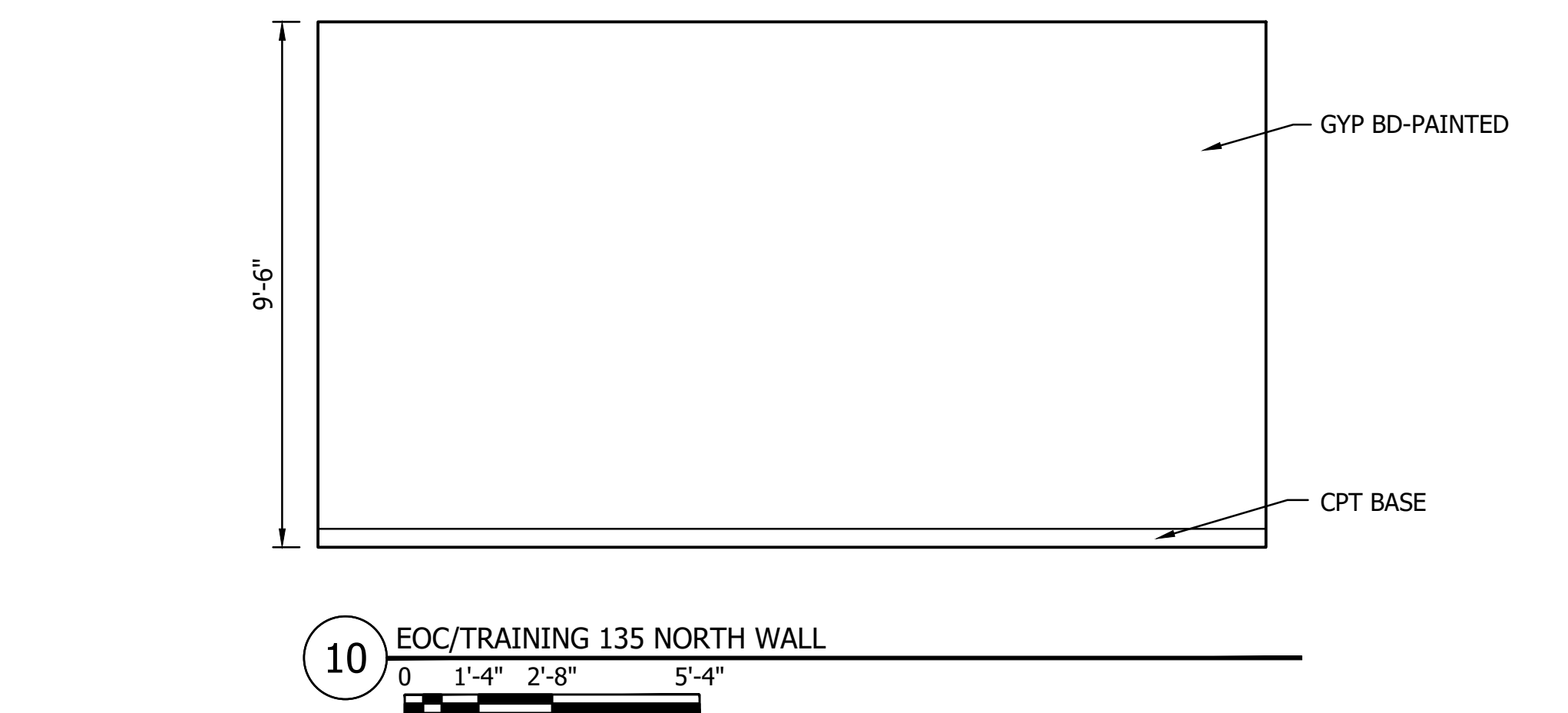
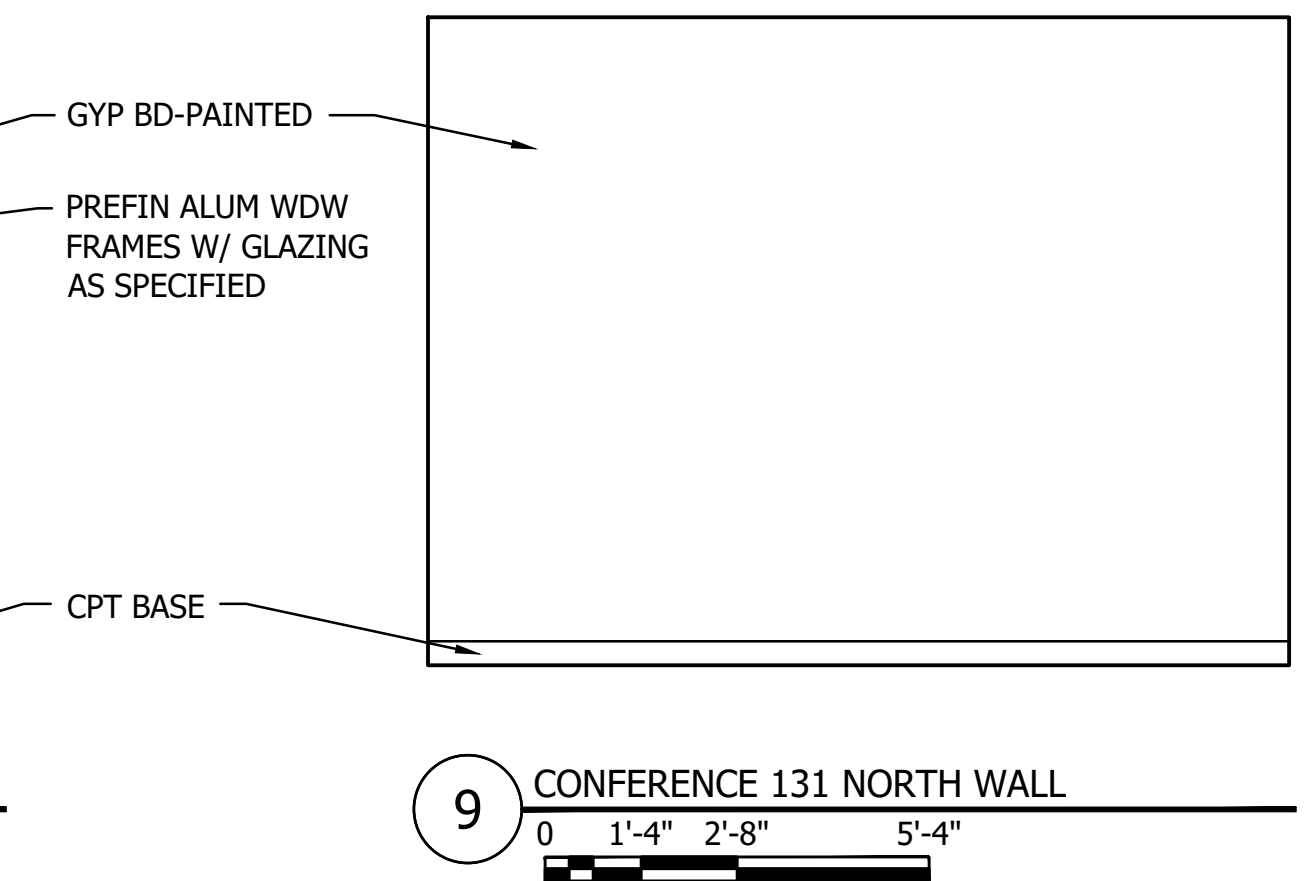
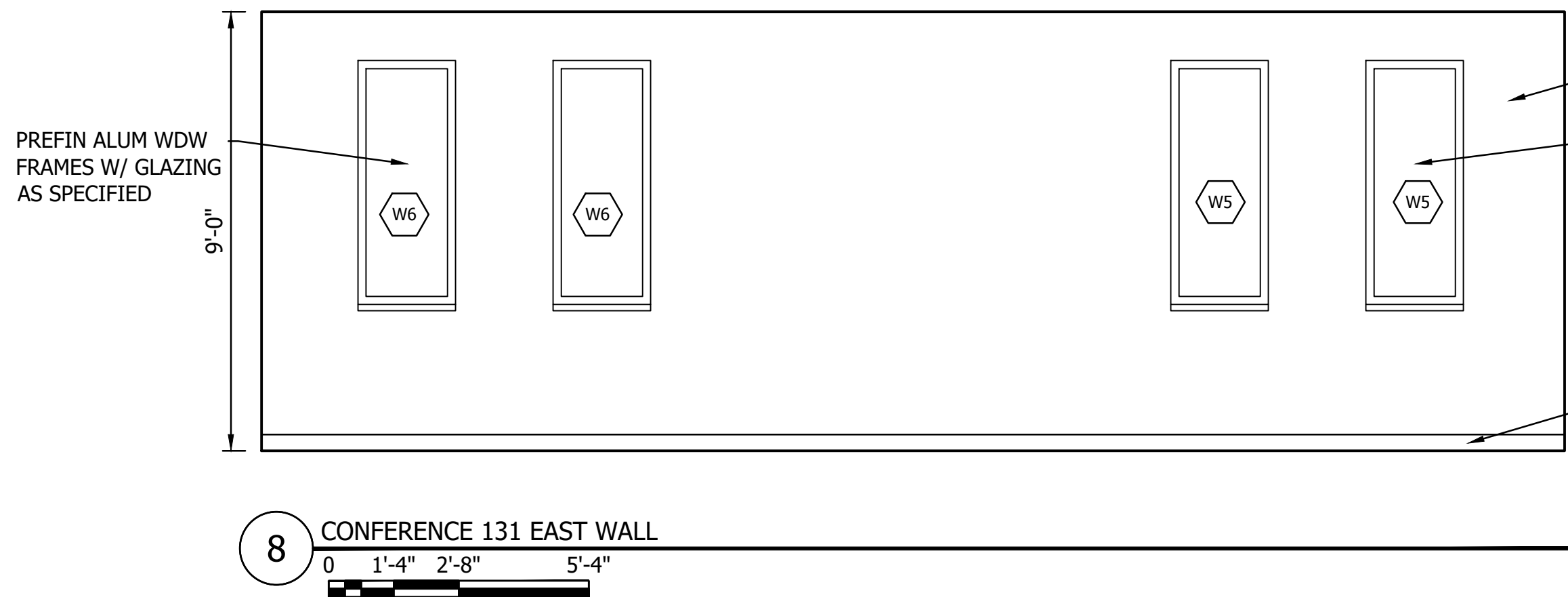
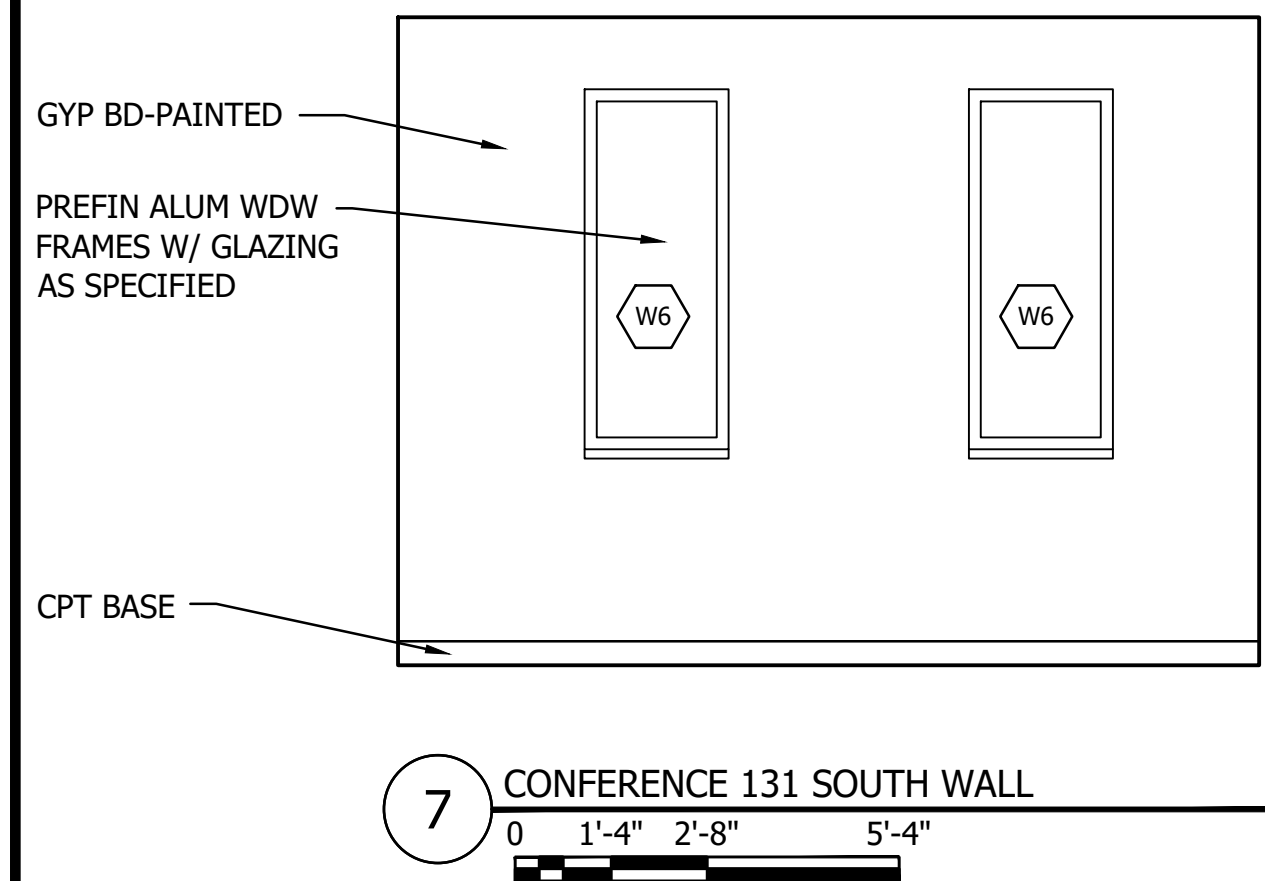
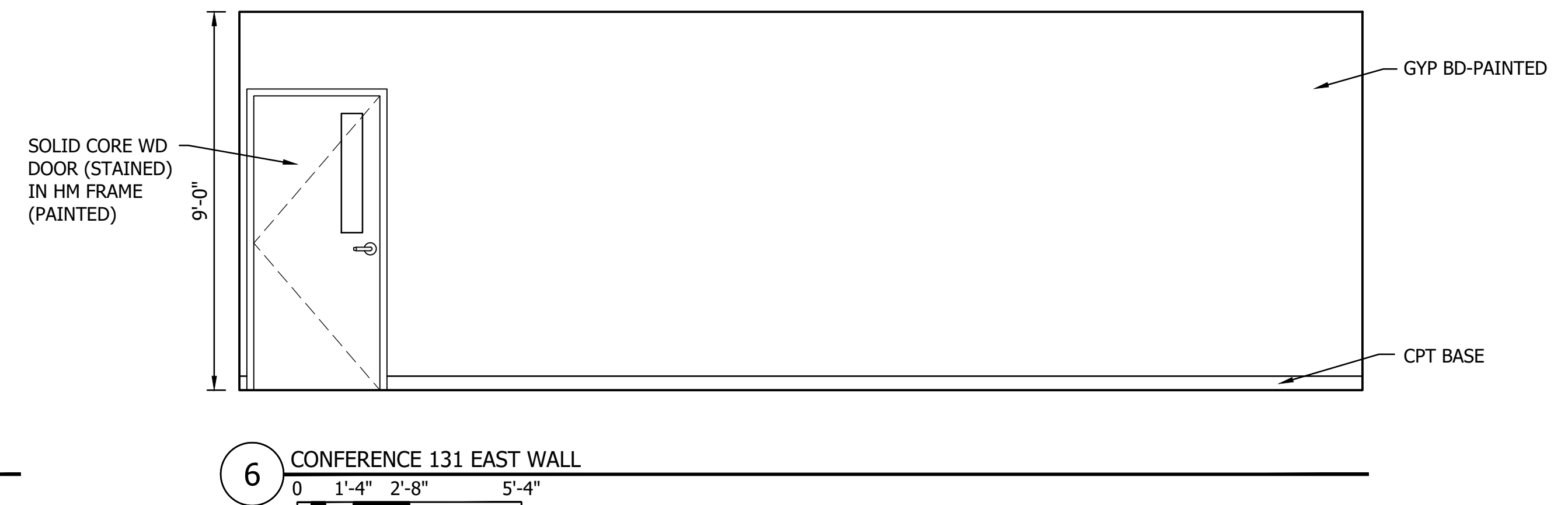
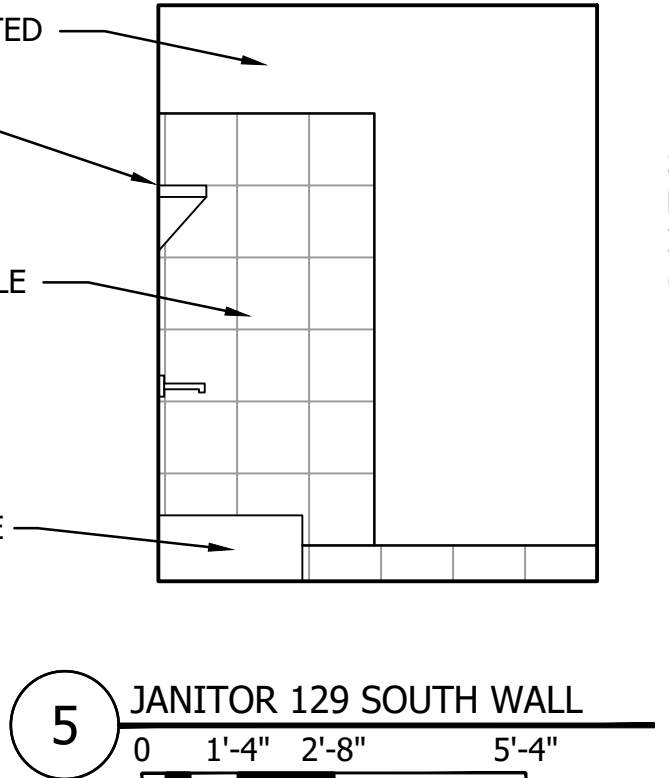
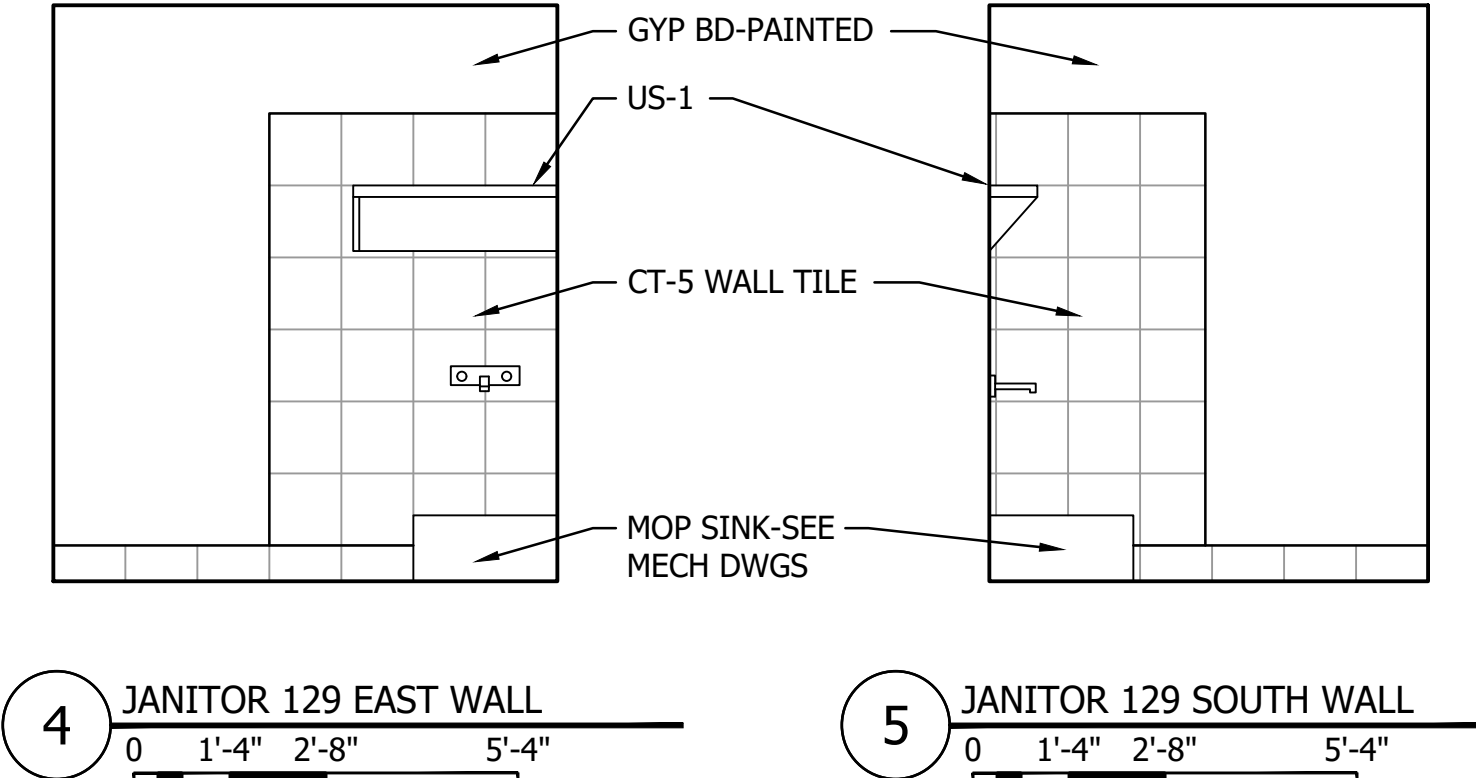
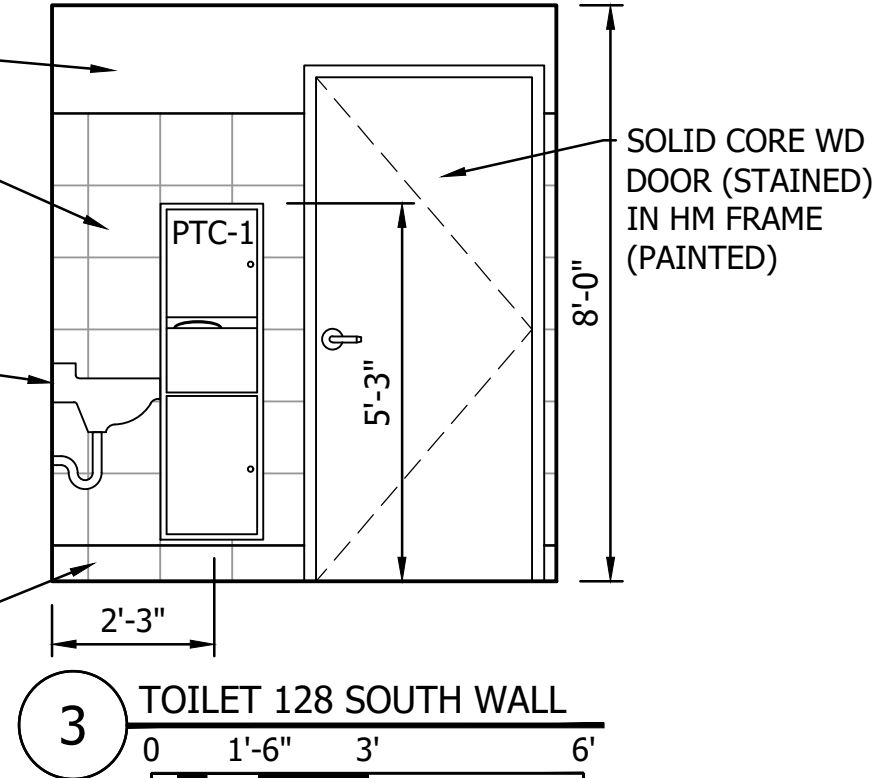
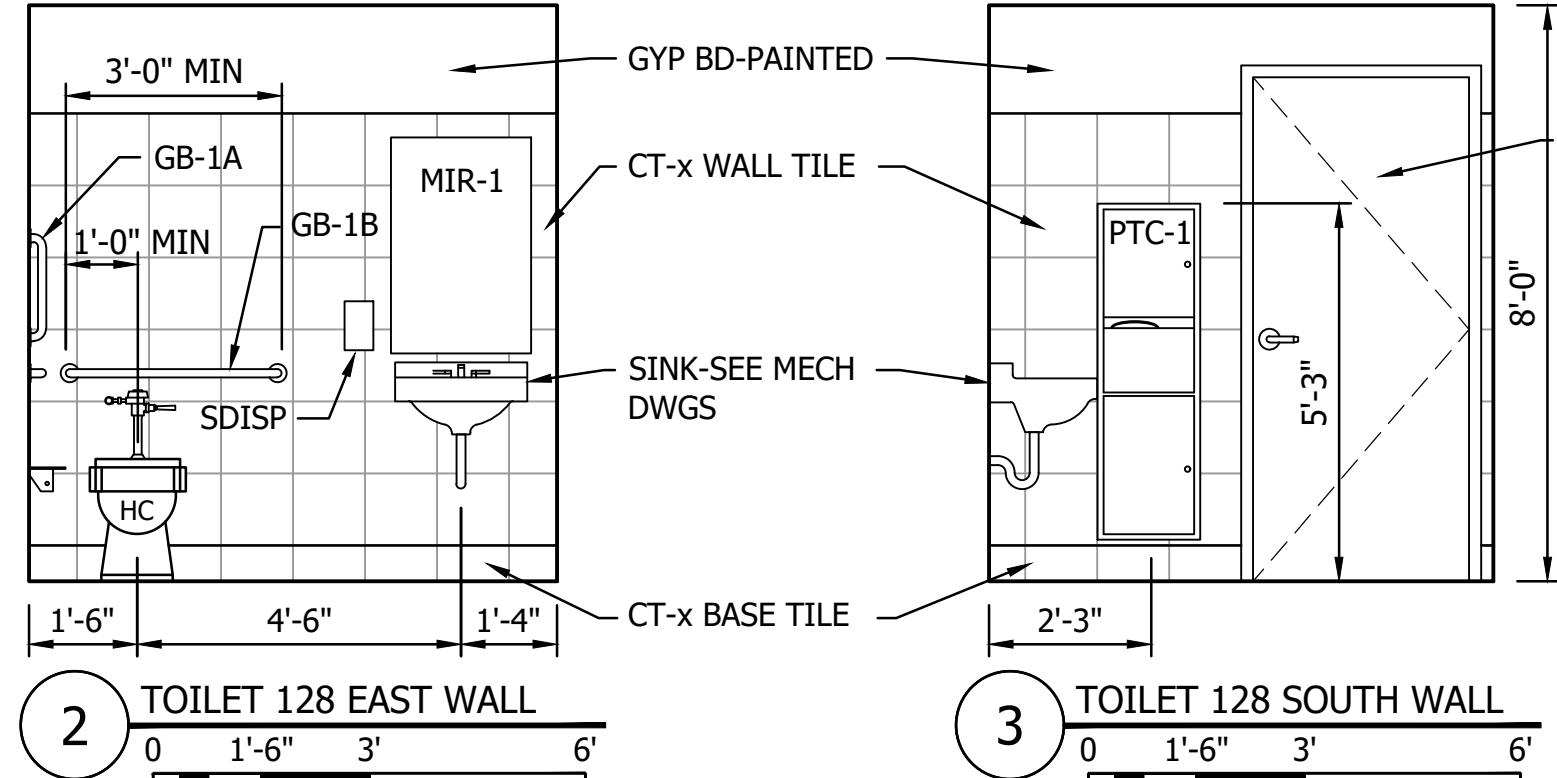
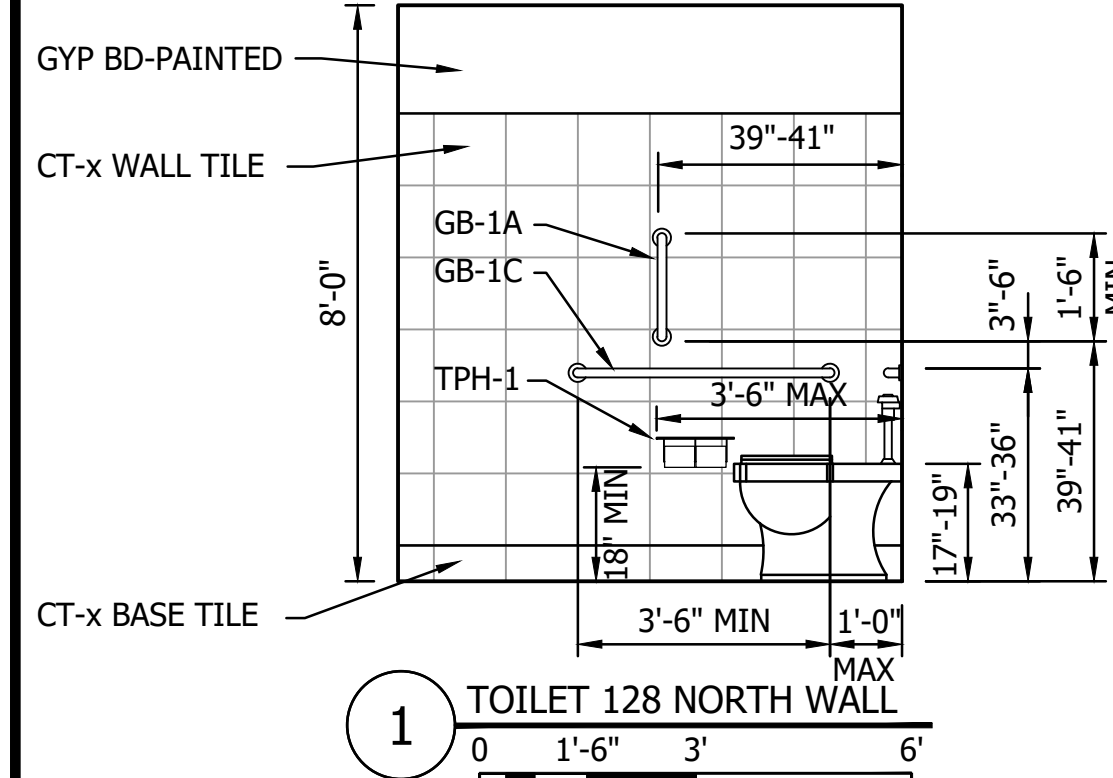
NO.	REVISION	DATE

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DRAWINGS ARE THE PROPERTY OF STANTEC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



Proj Date: 09/07/2023, 8:44am  
 Drawn By: J. K. [Name]  
 Checked By: [Name]  
 Approved By: [Name]

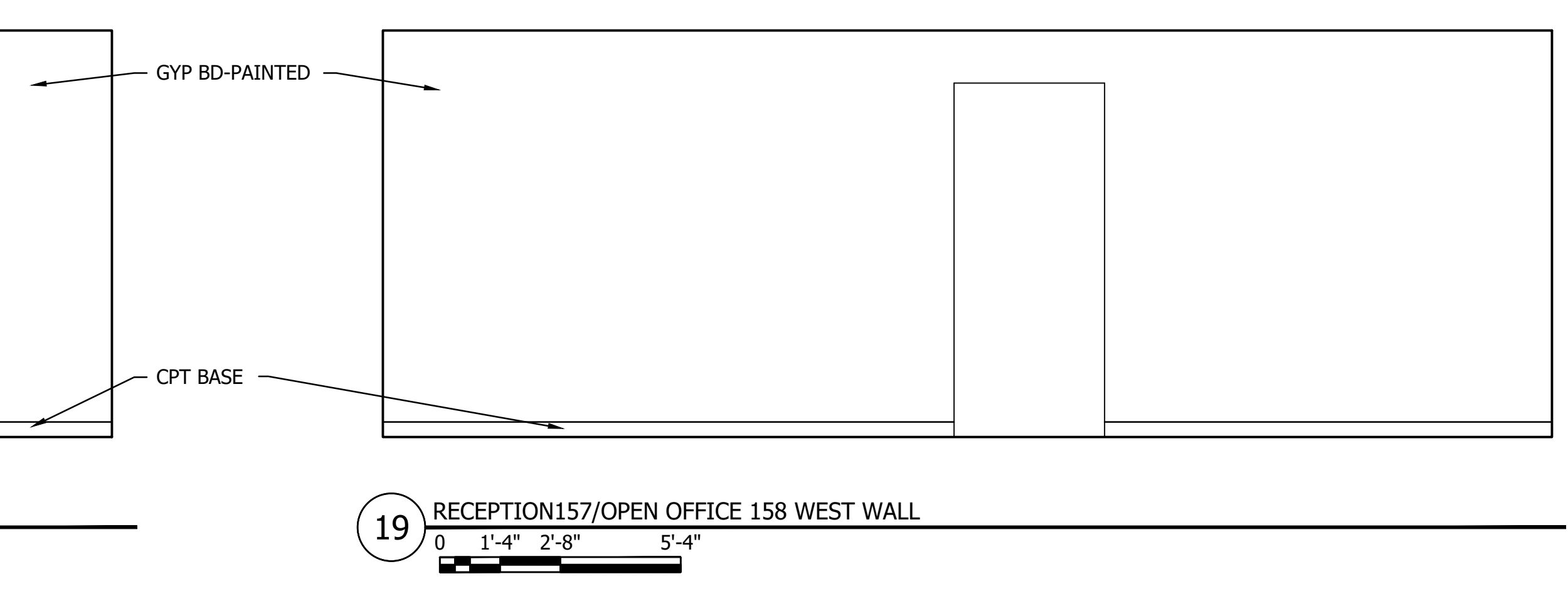
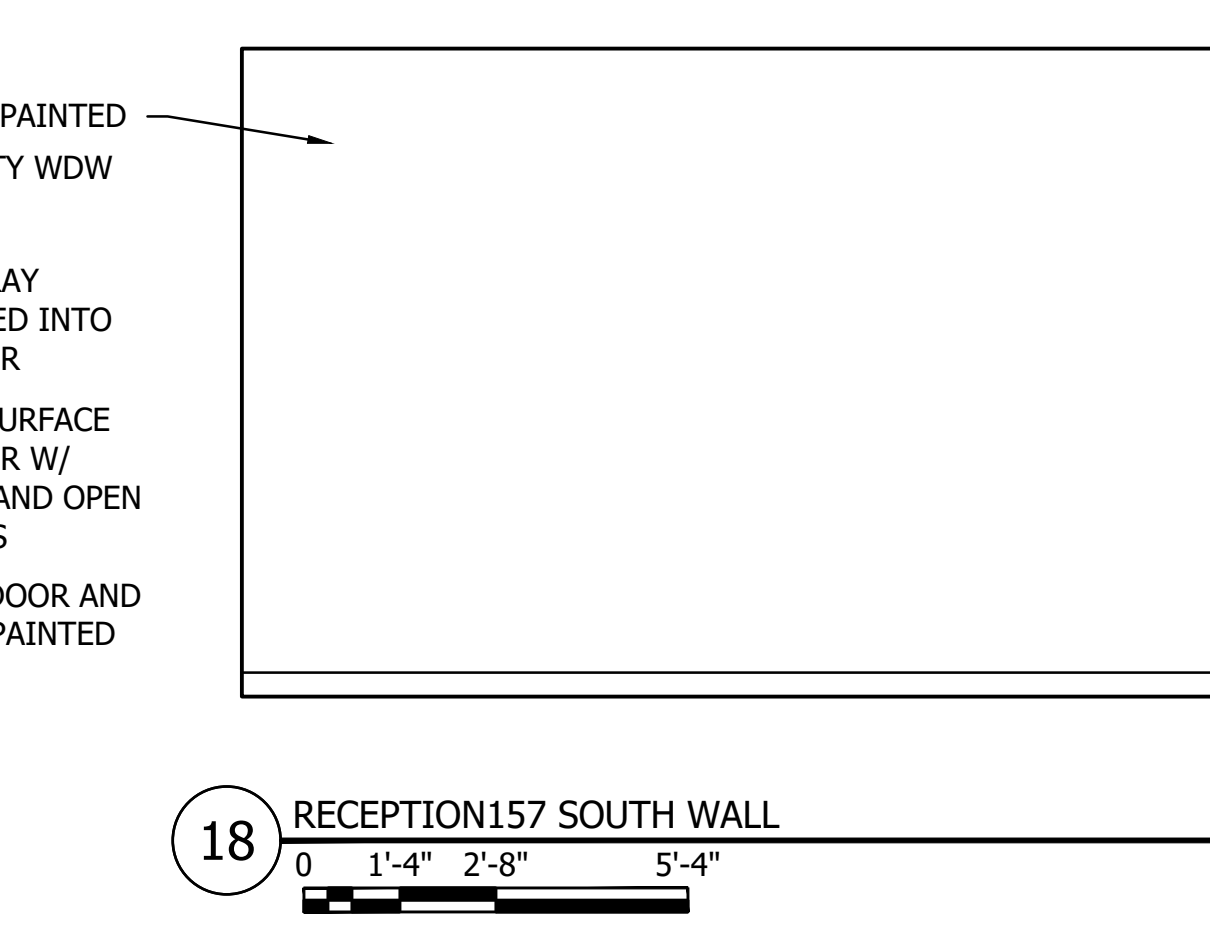
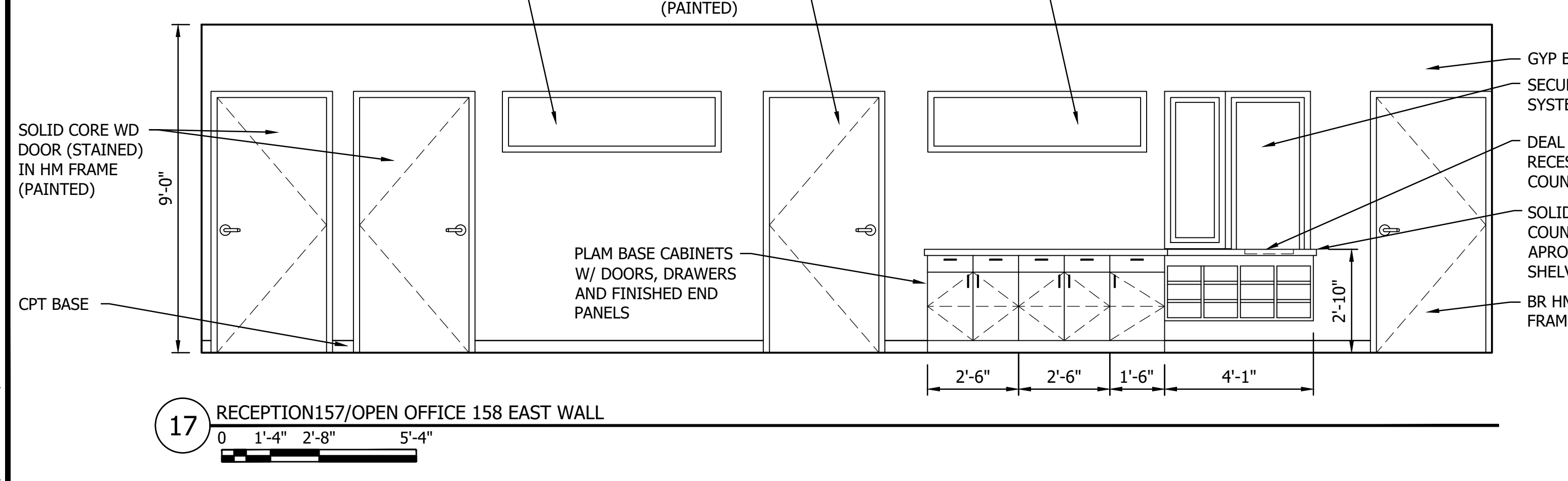
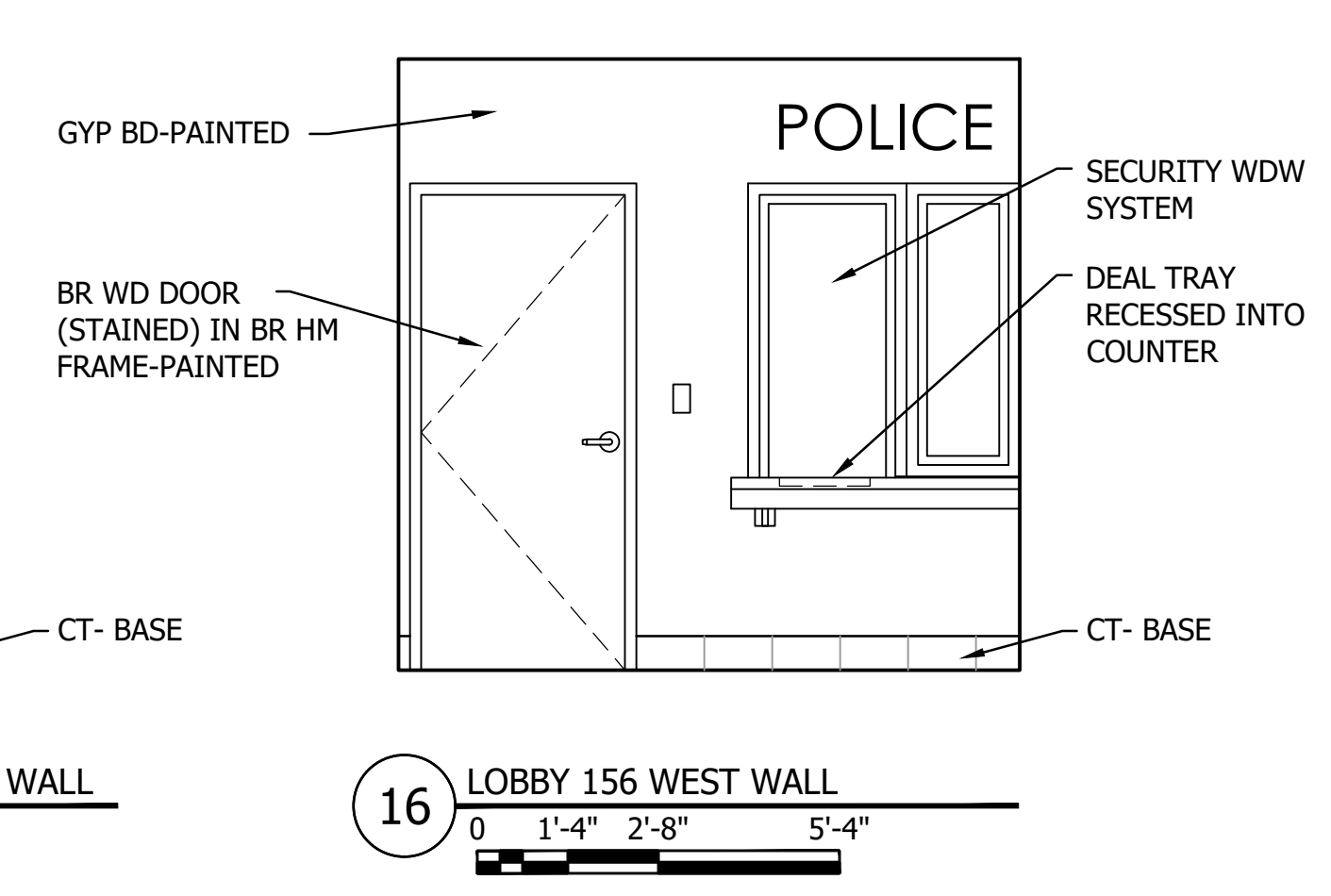
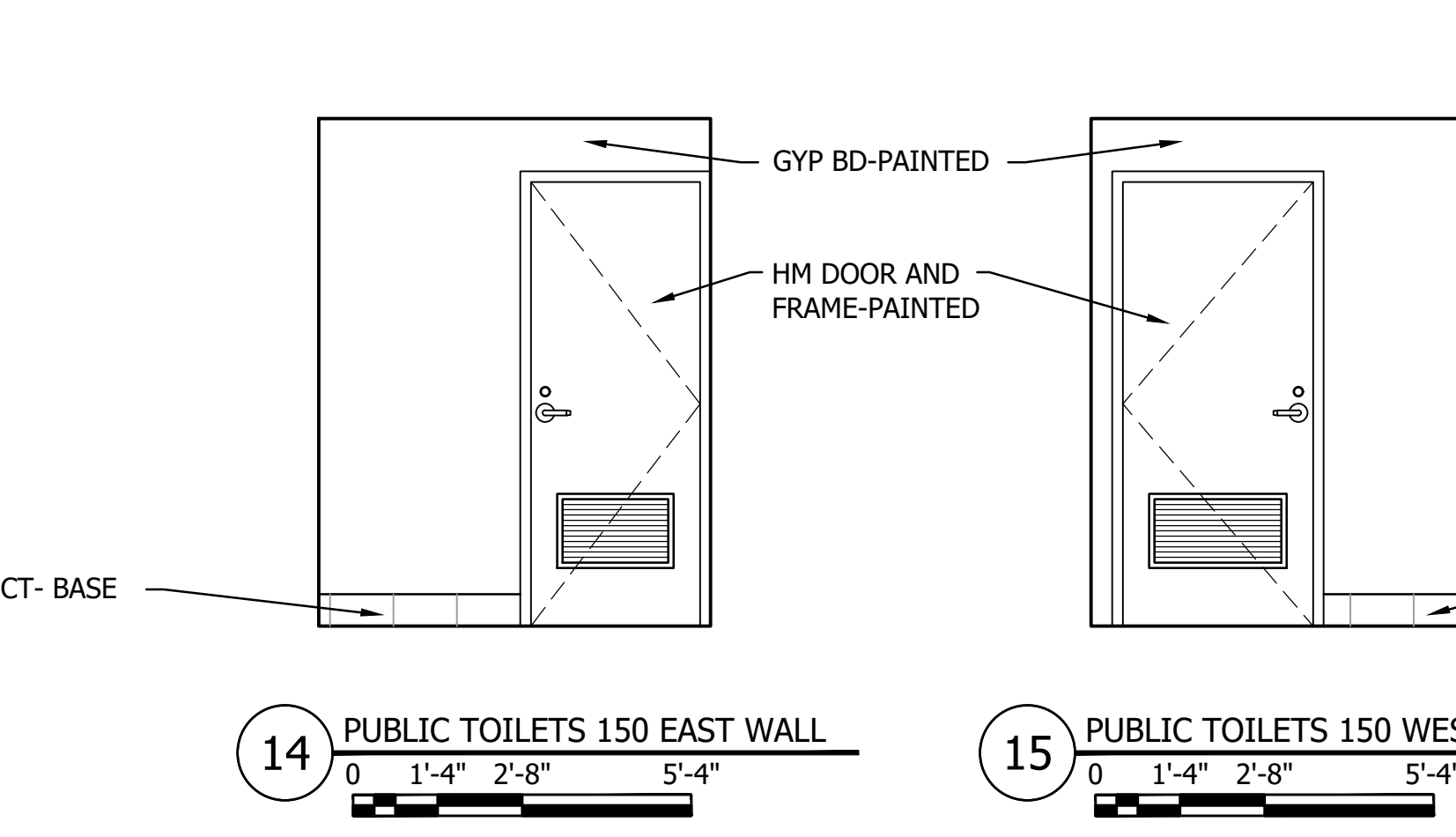
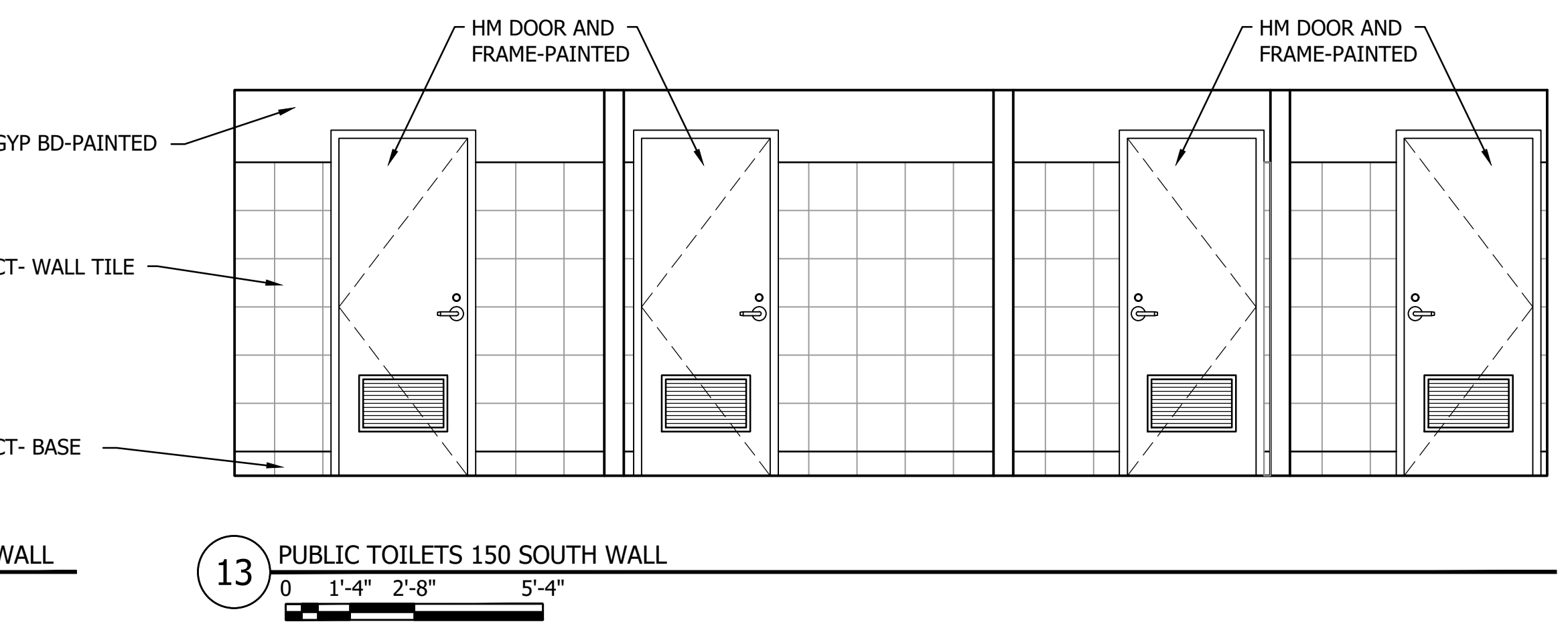
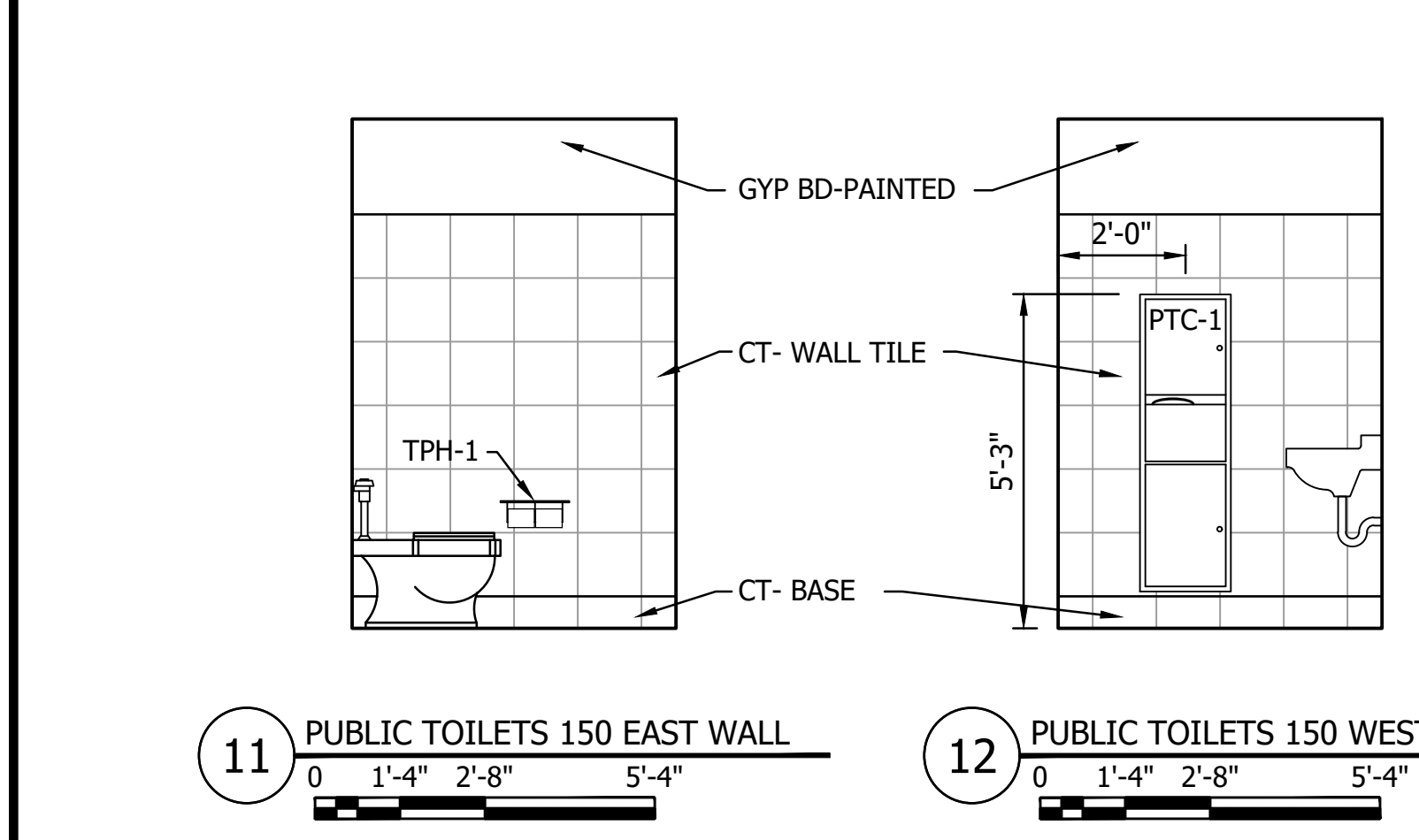
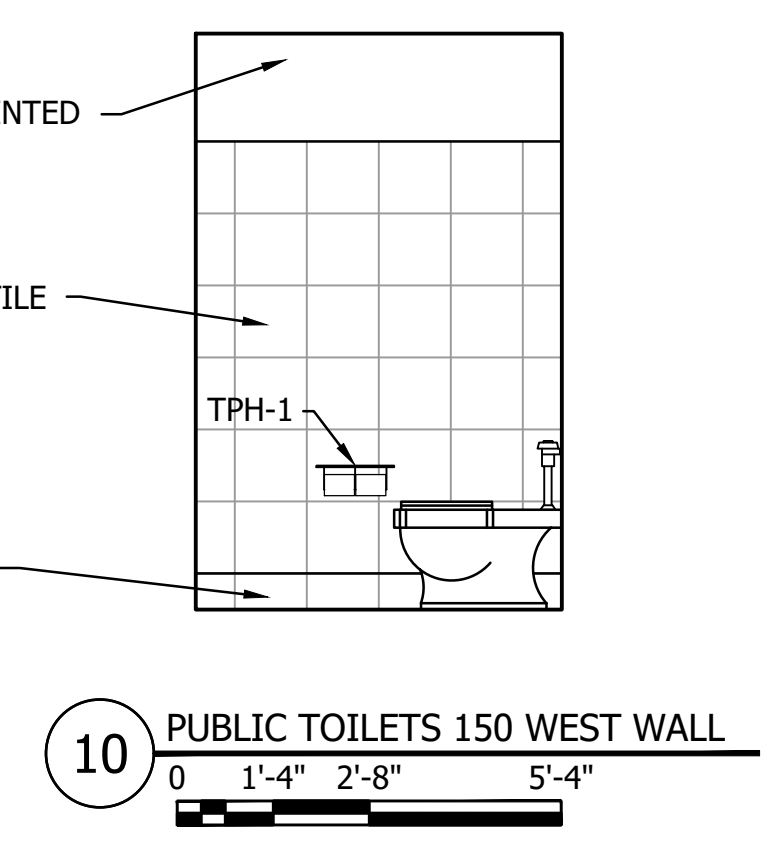
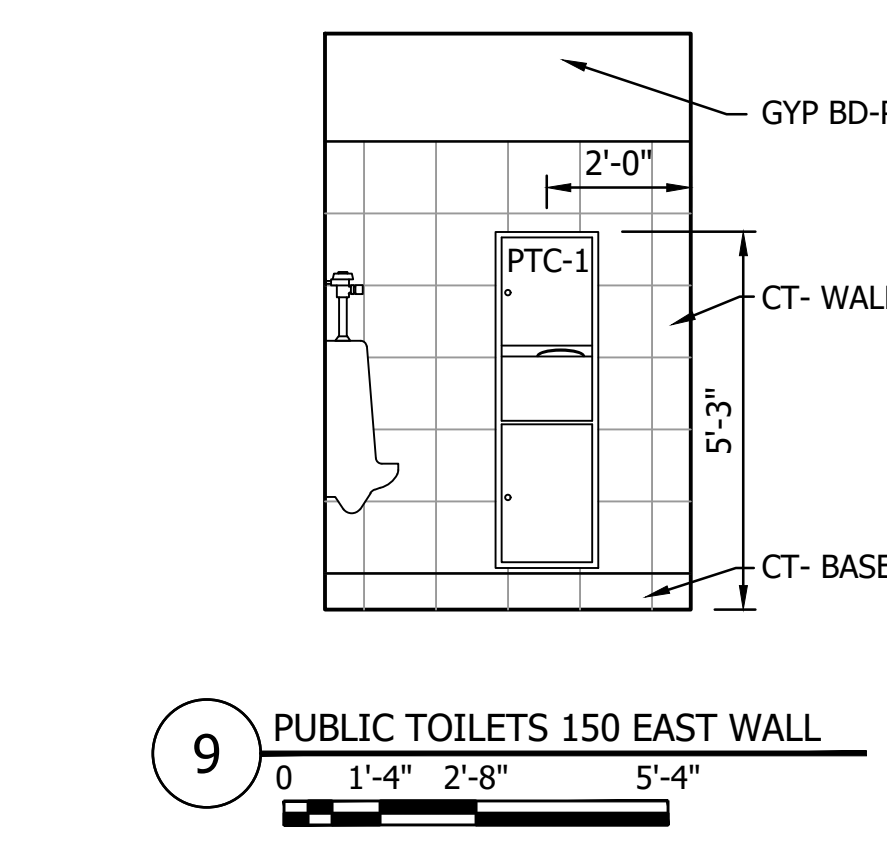
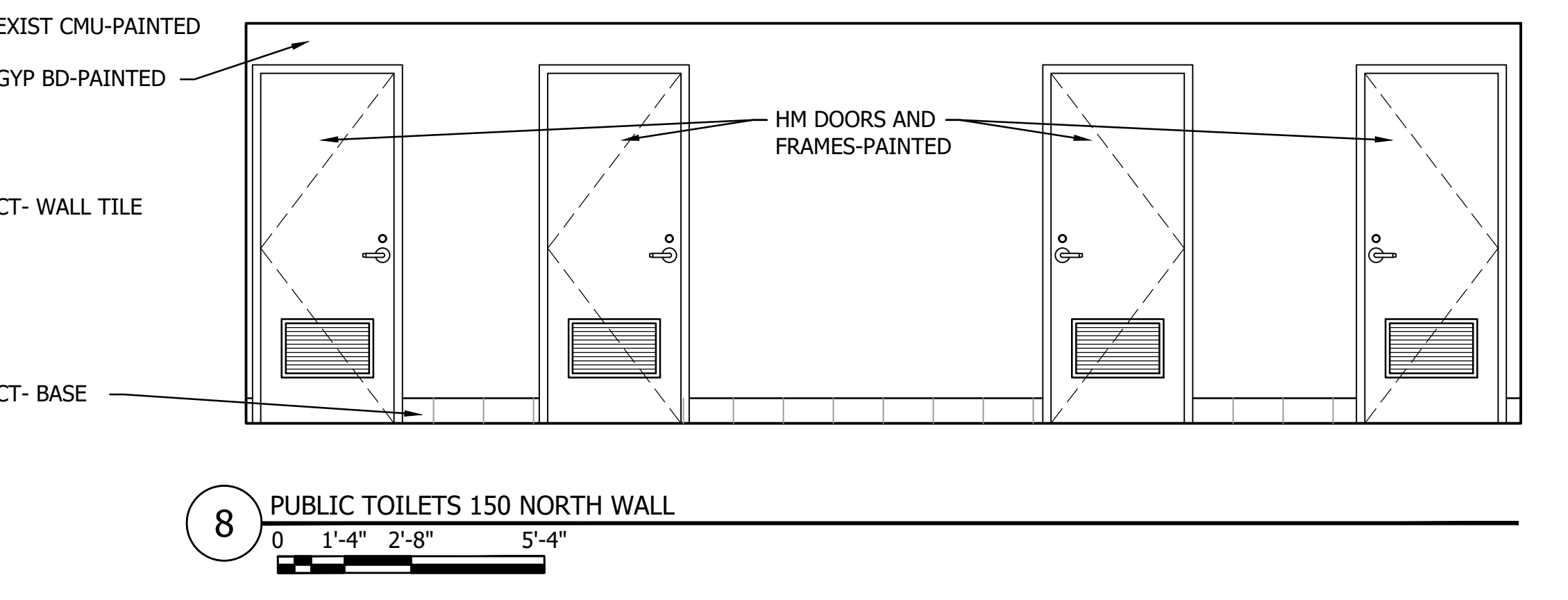
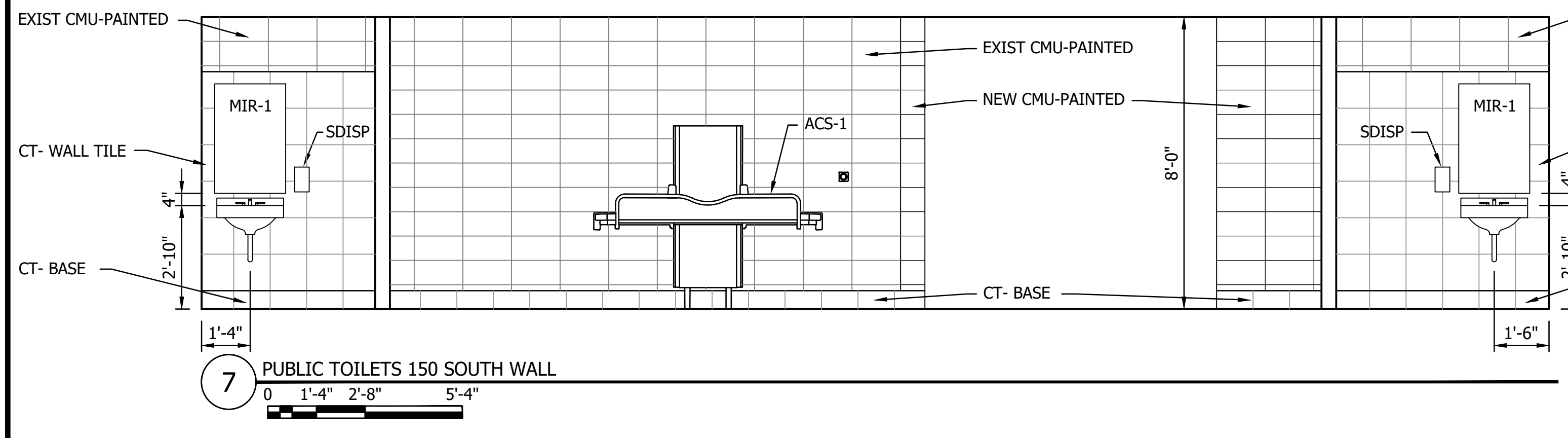
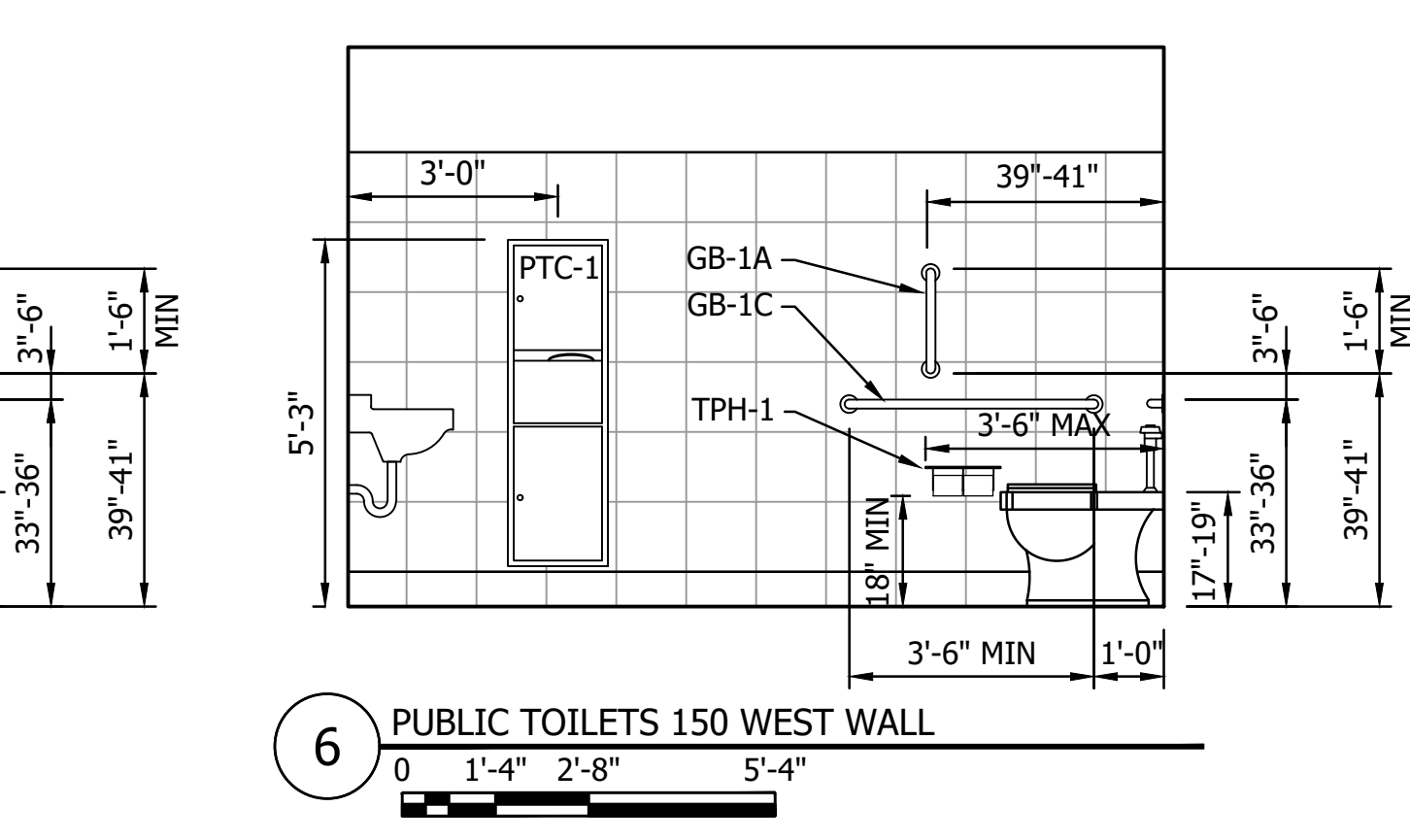
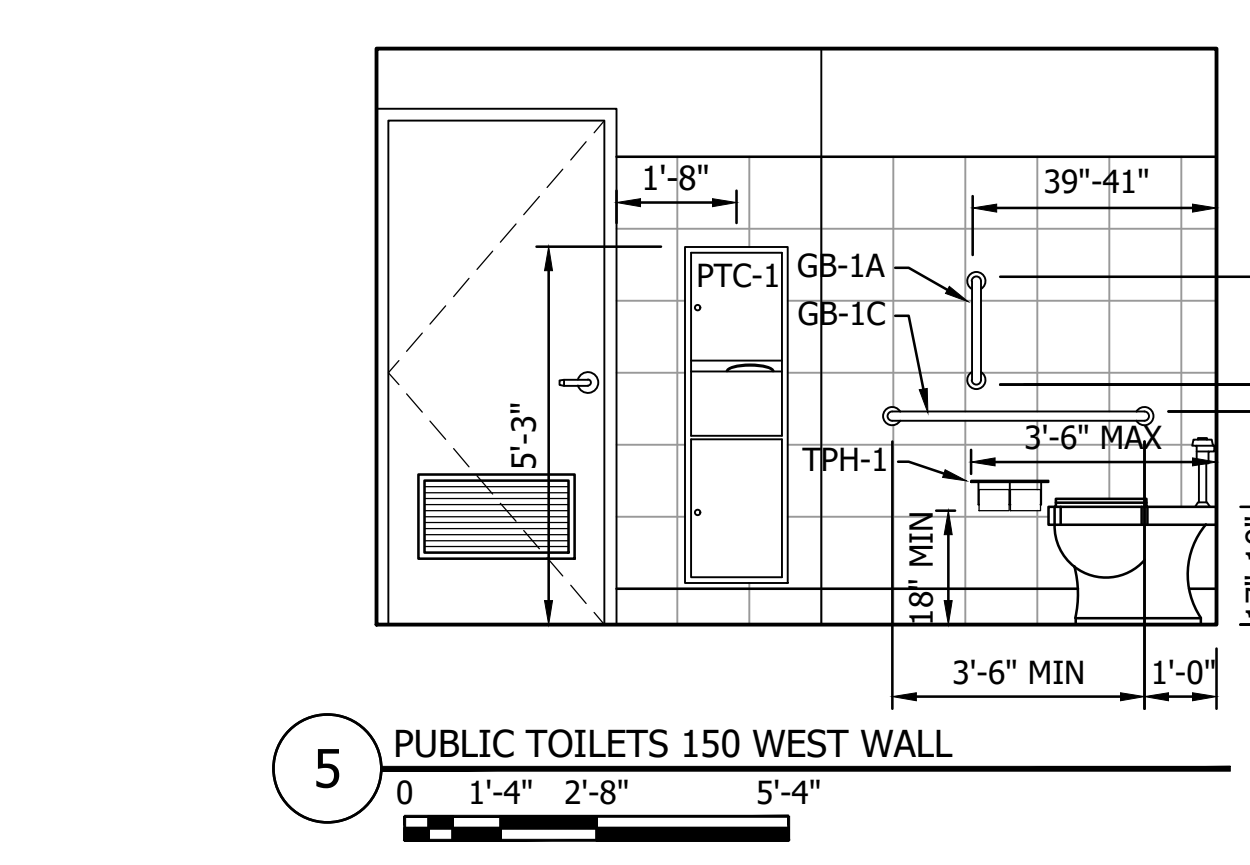
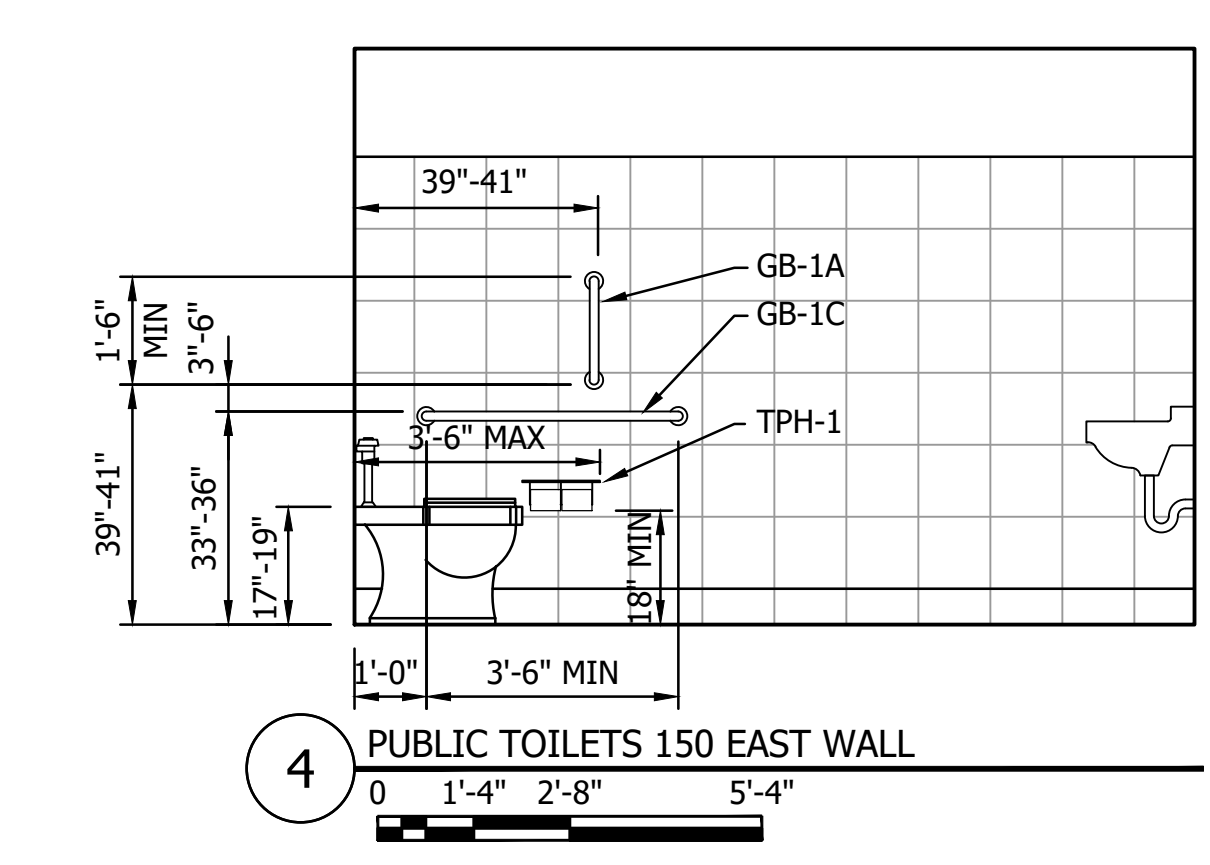
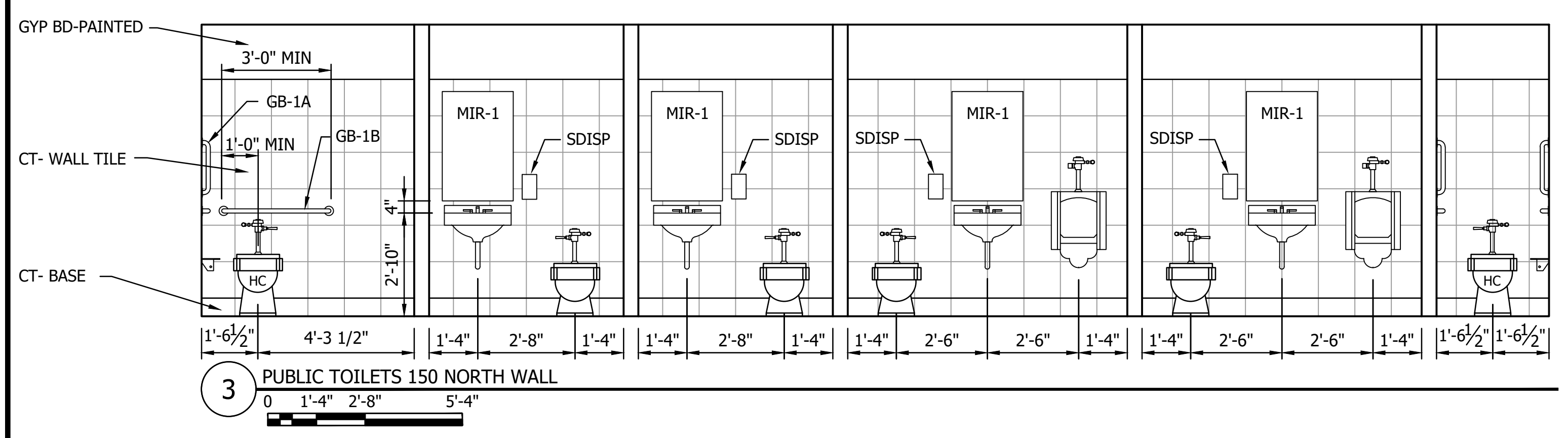
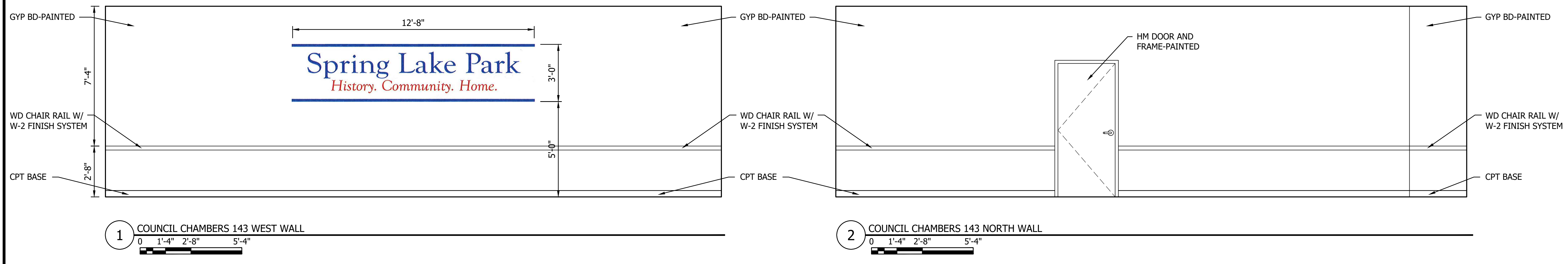
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING.



Plot Date: 09/07/2023 8:44am  
Project: C:\Users\jacob\_jacob\Desktop\193856049-A06.dwg  
User: jacob\_jacob  
Title: 193856049-A06



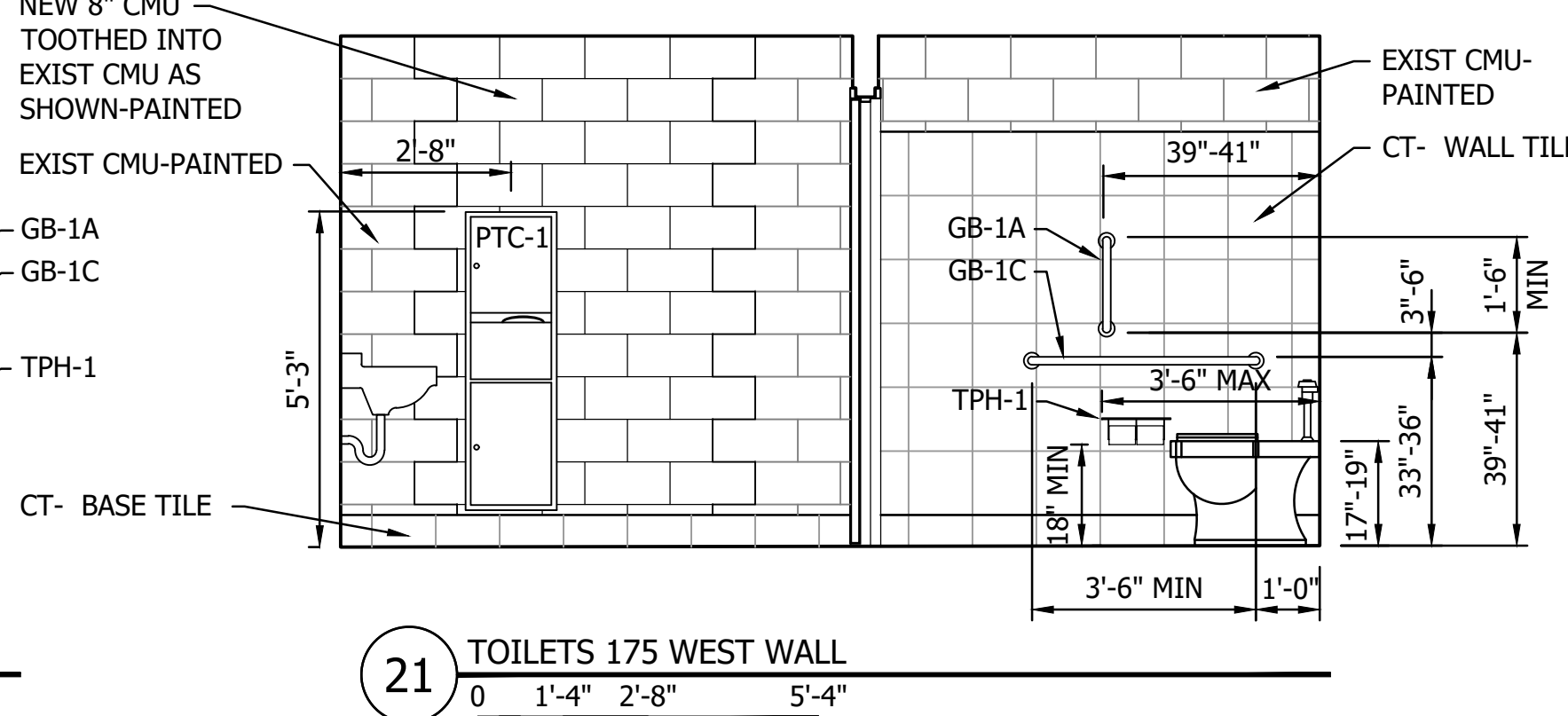
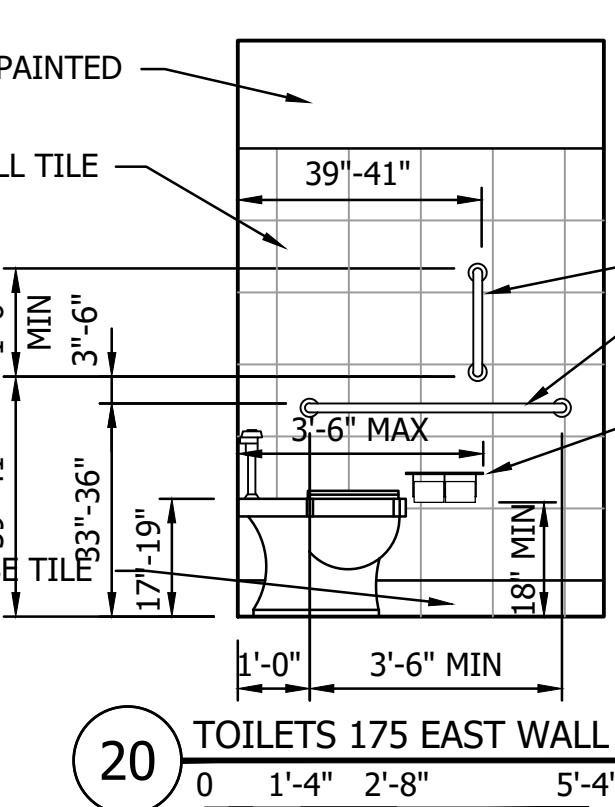
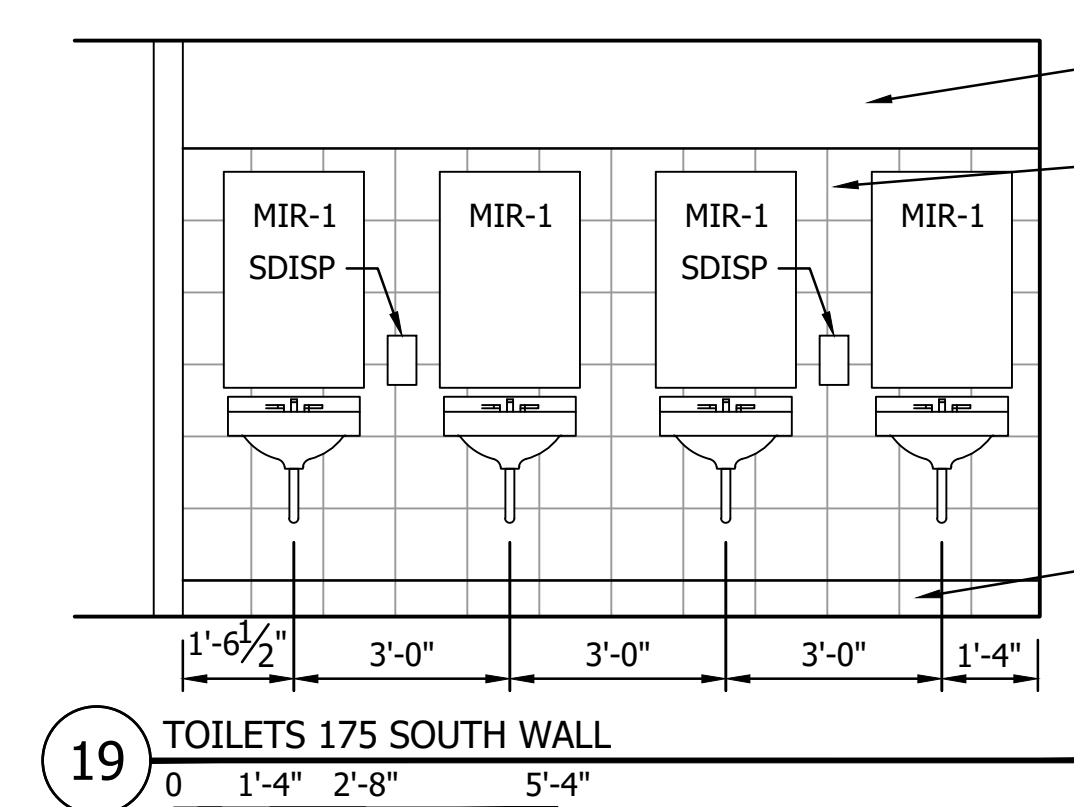
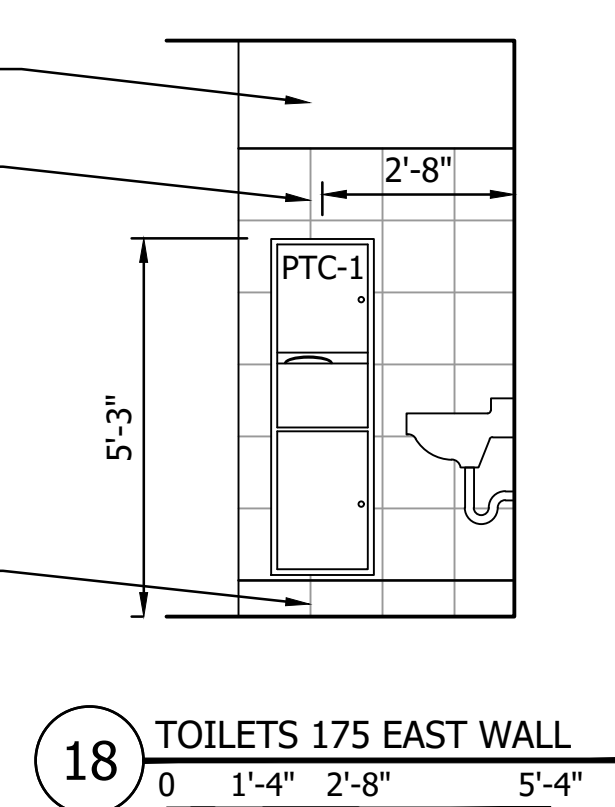
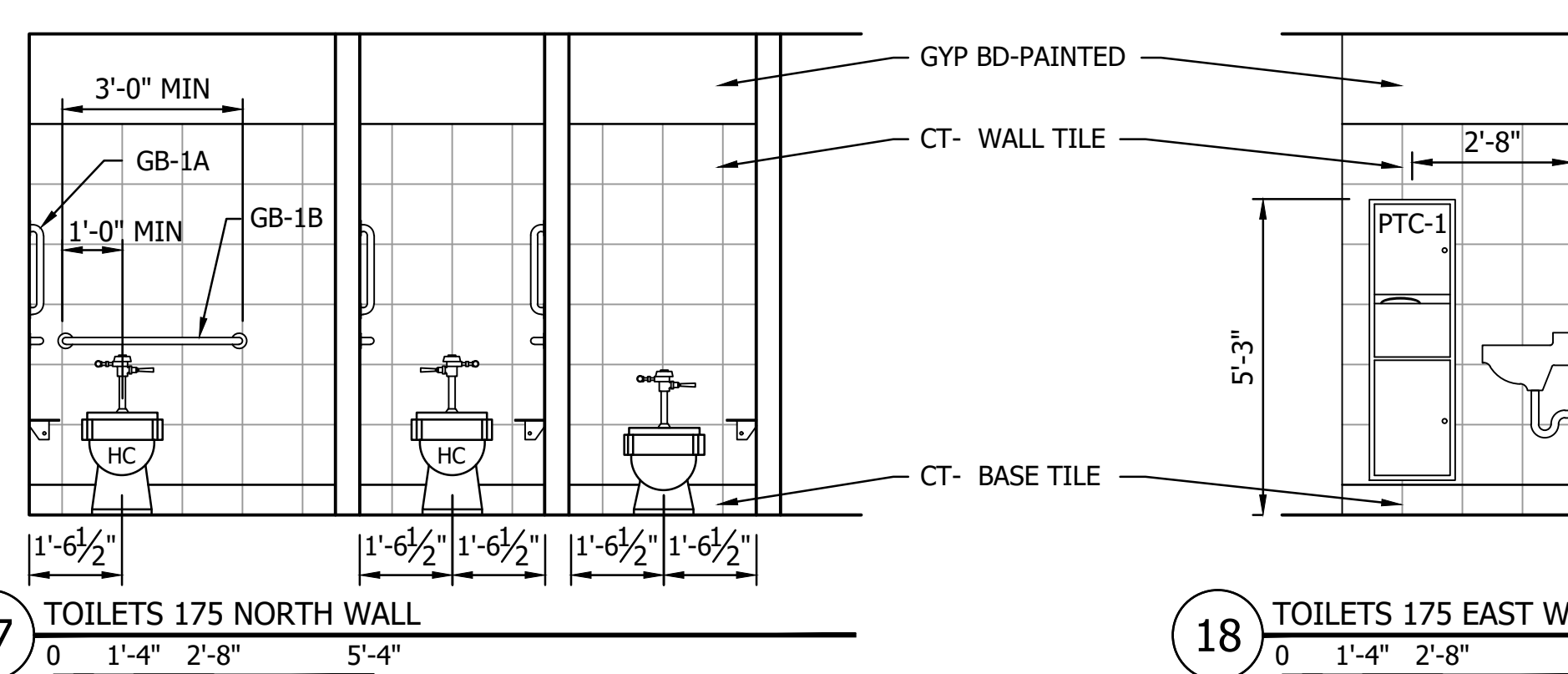
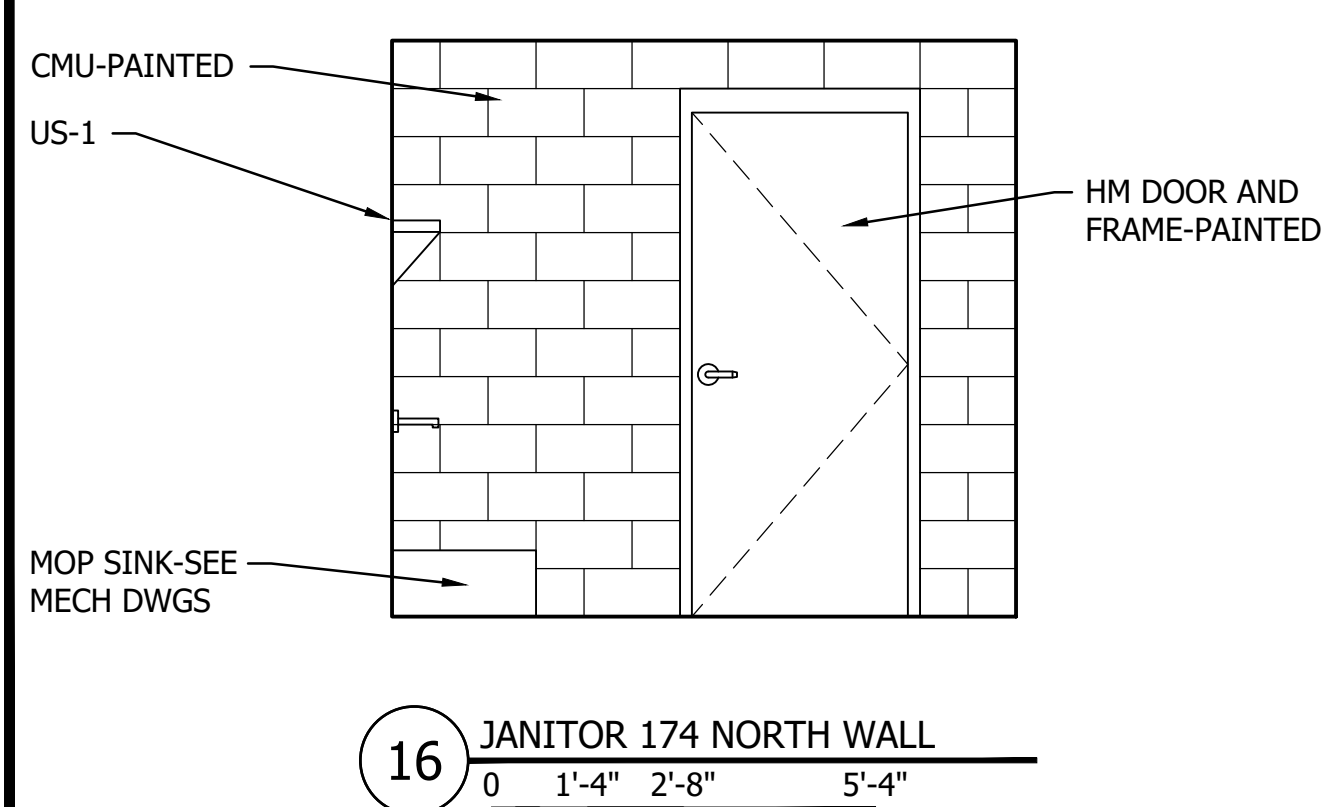
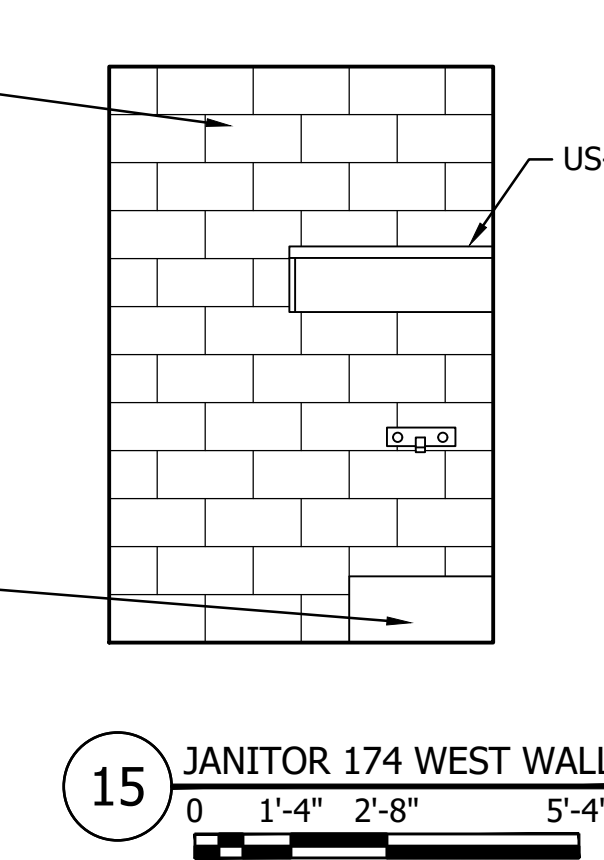
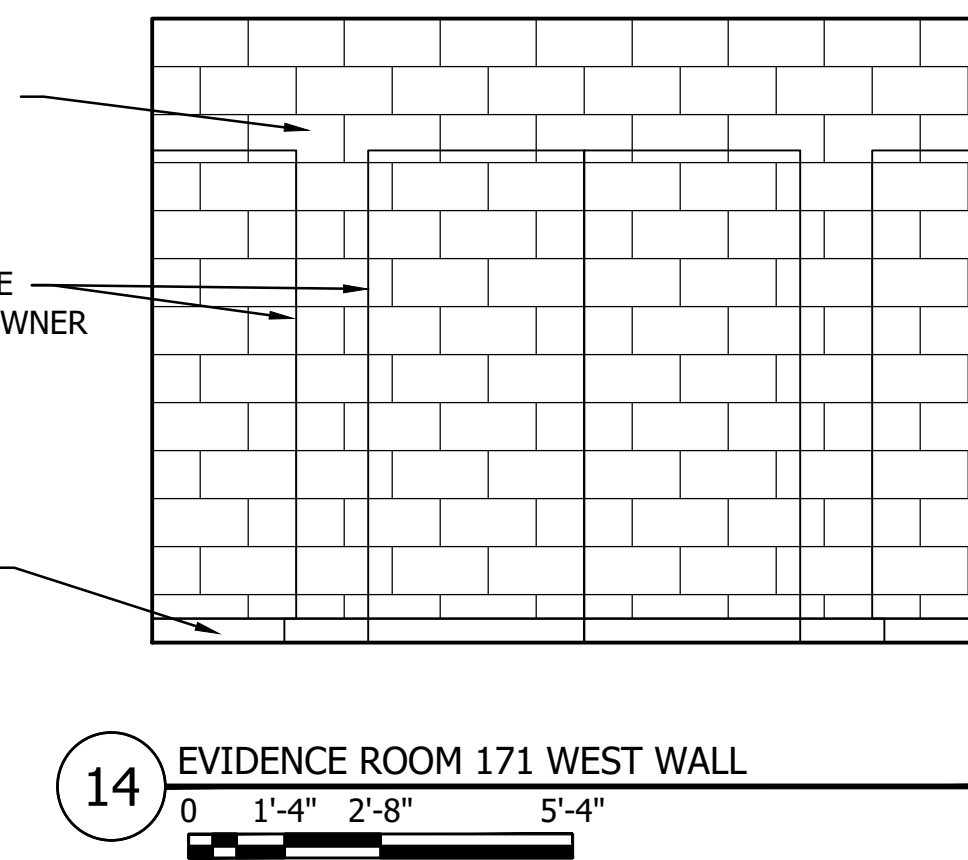
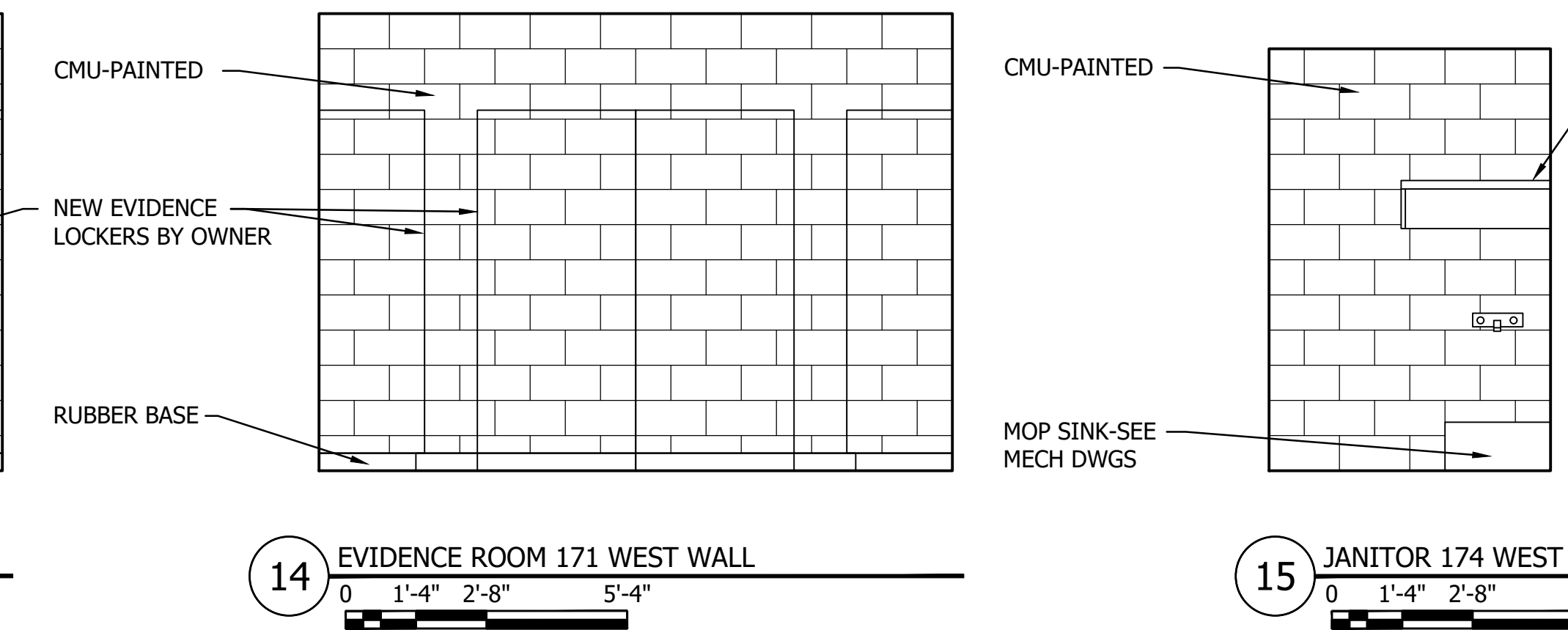
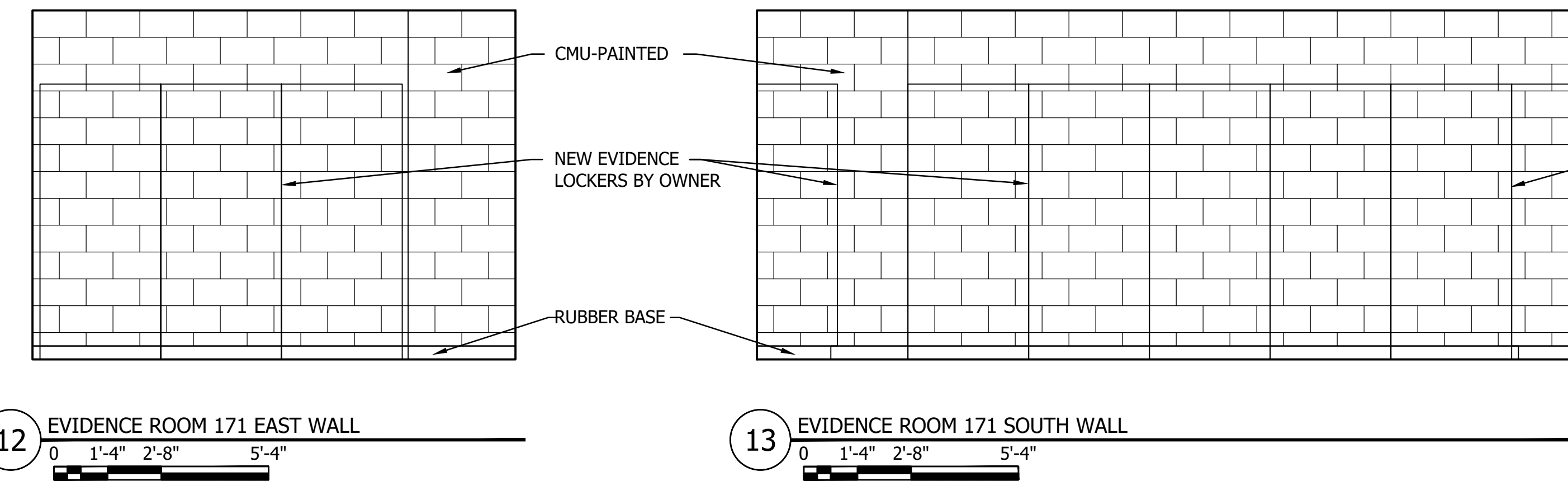
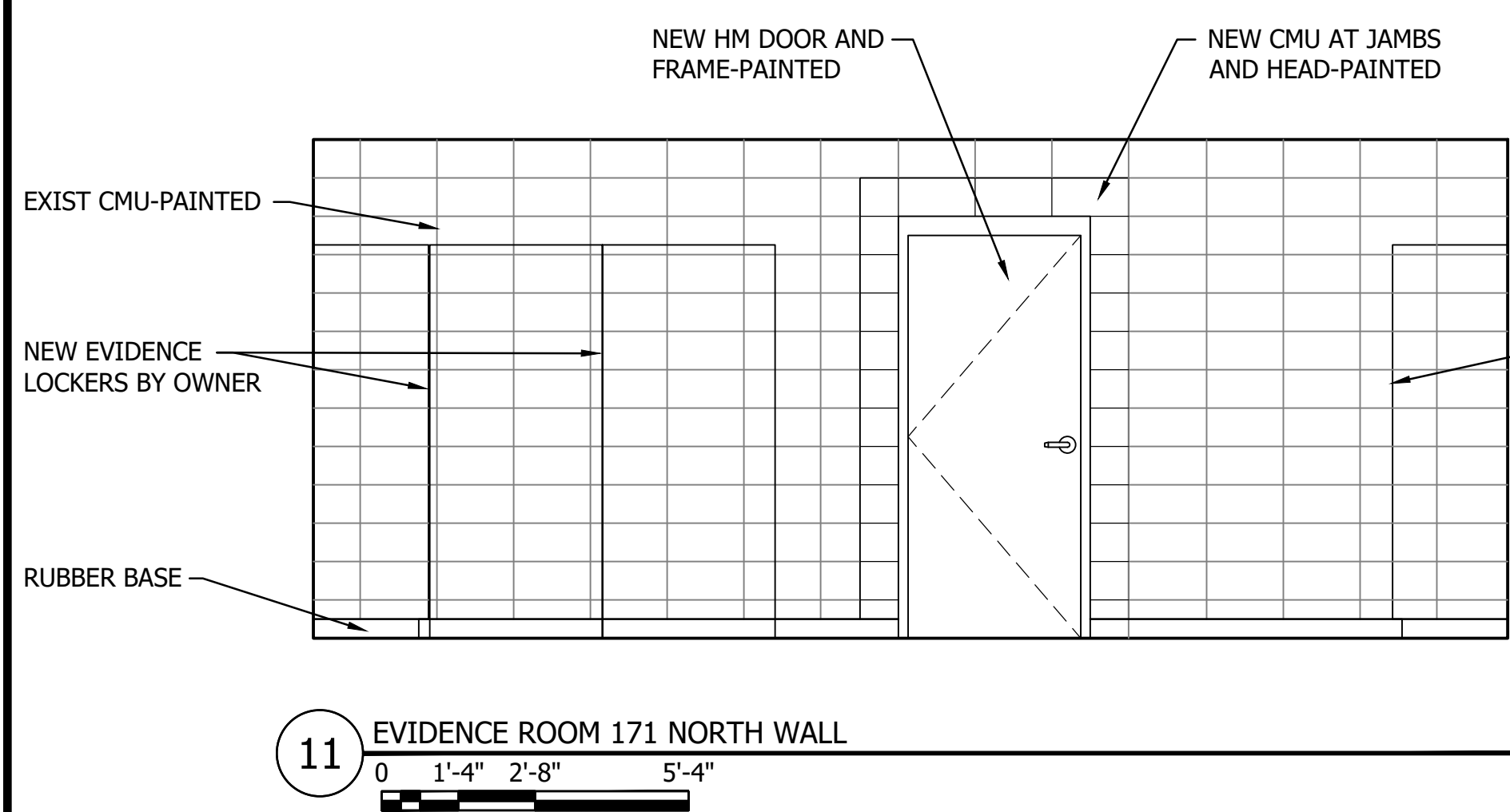
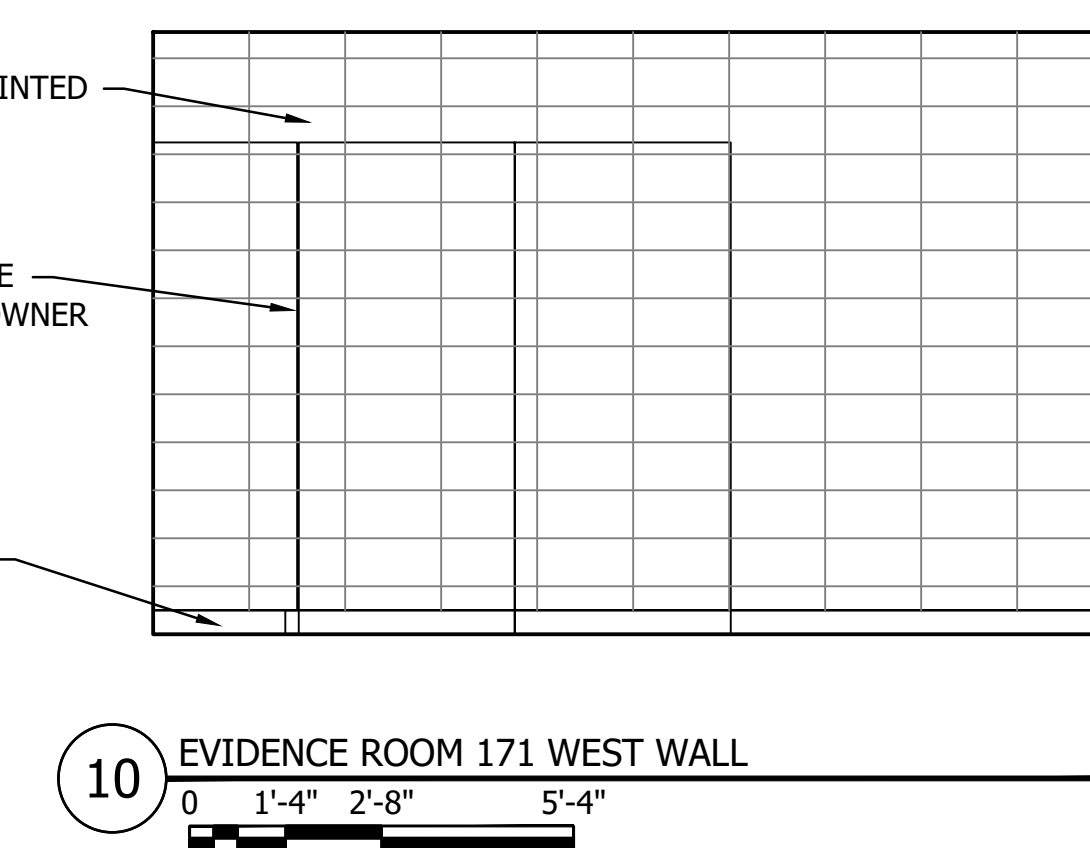
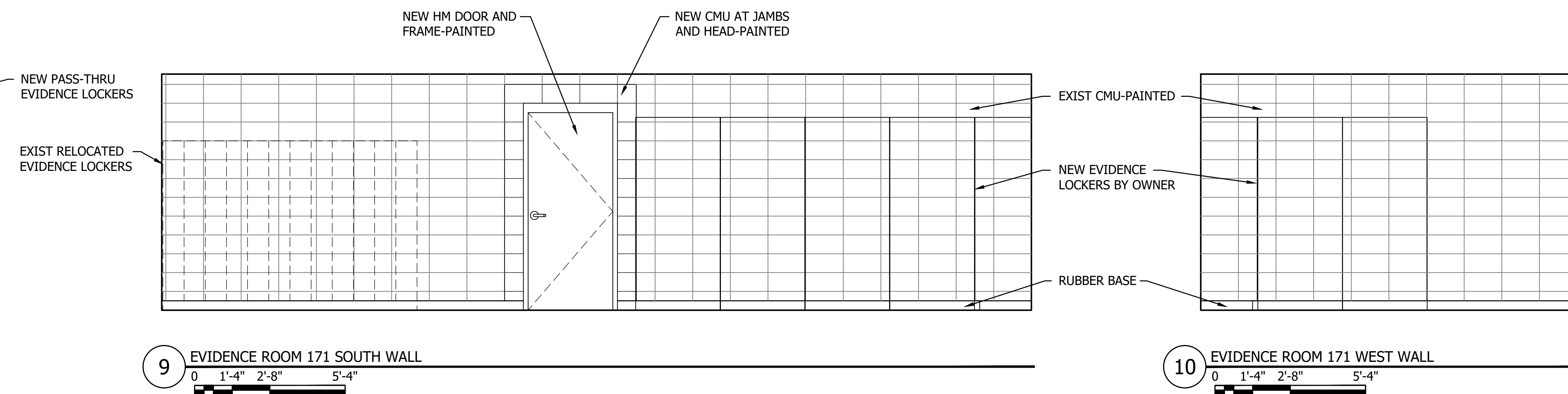
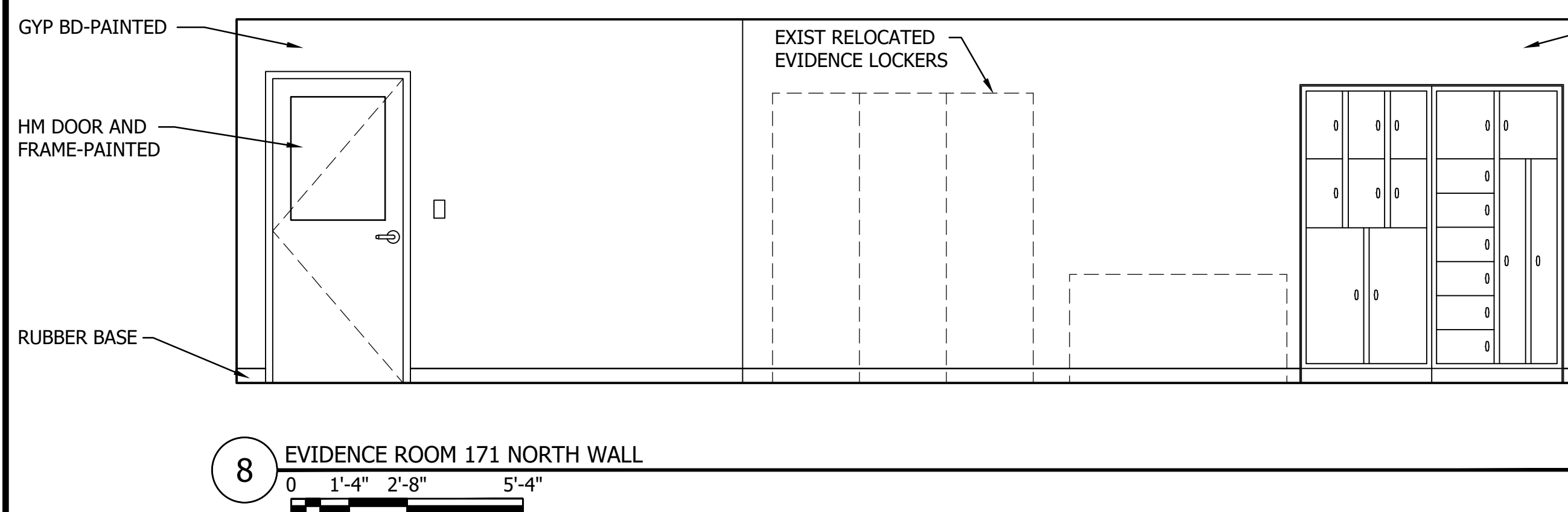
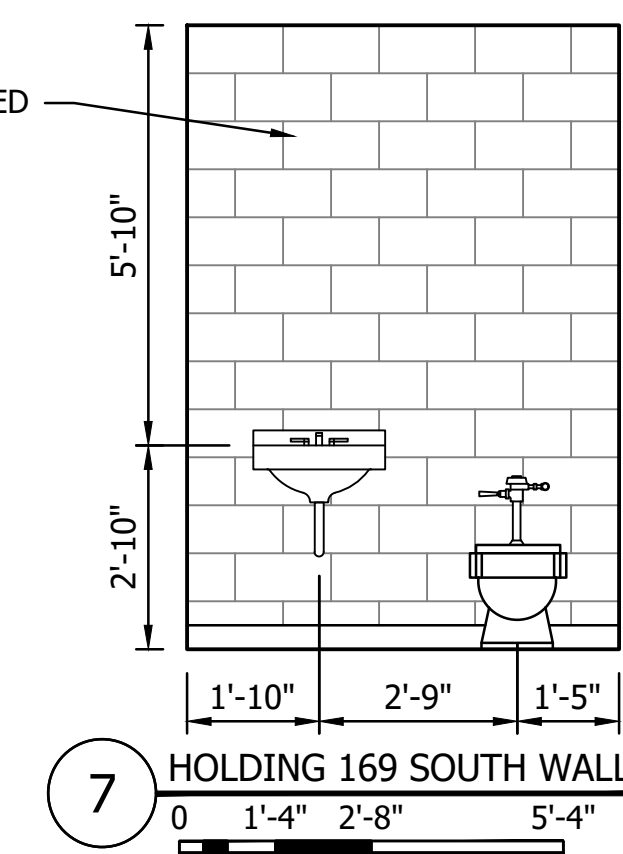
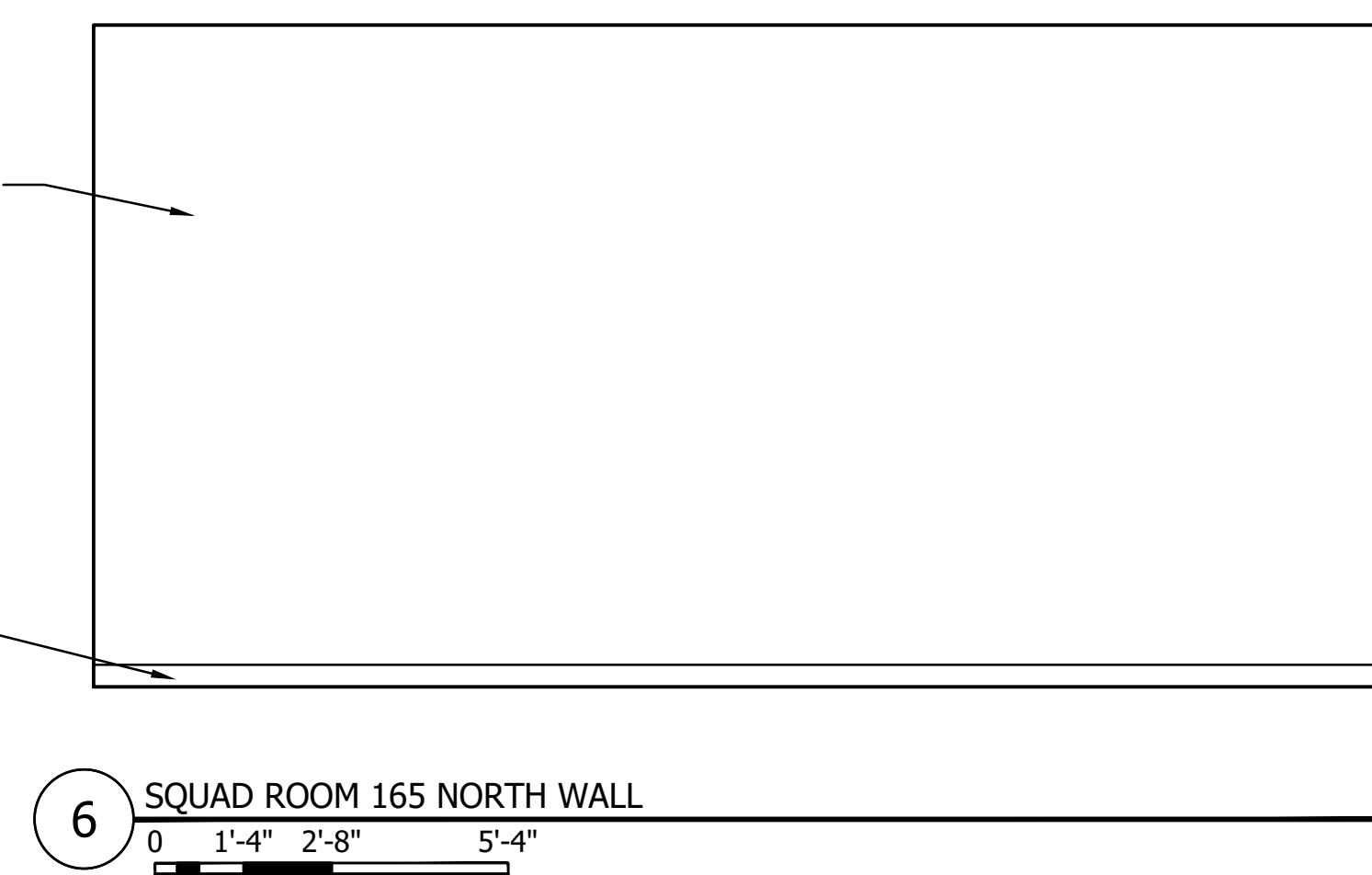
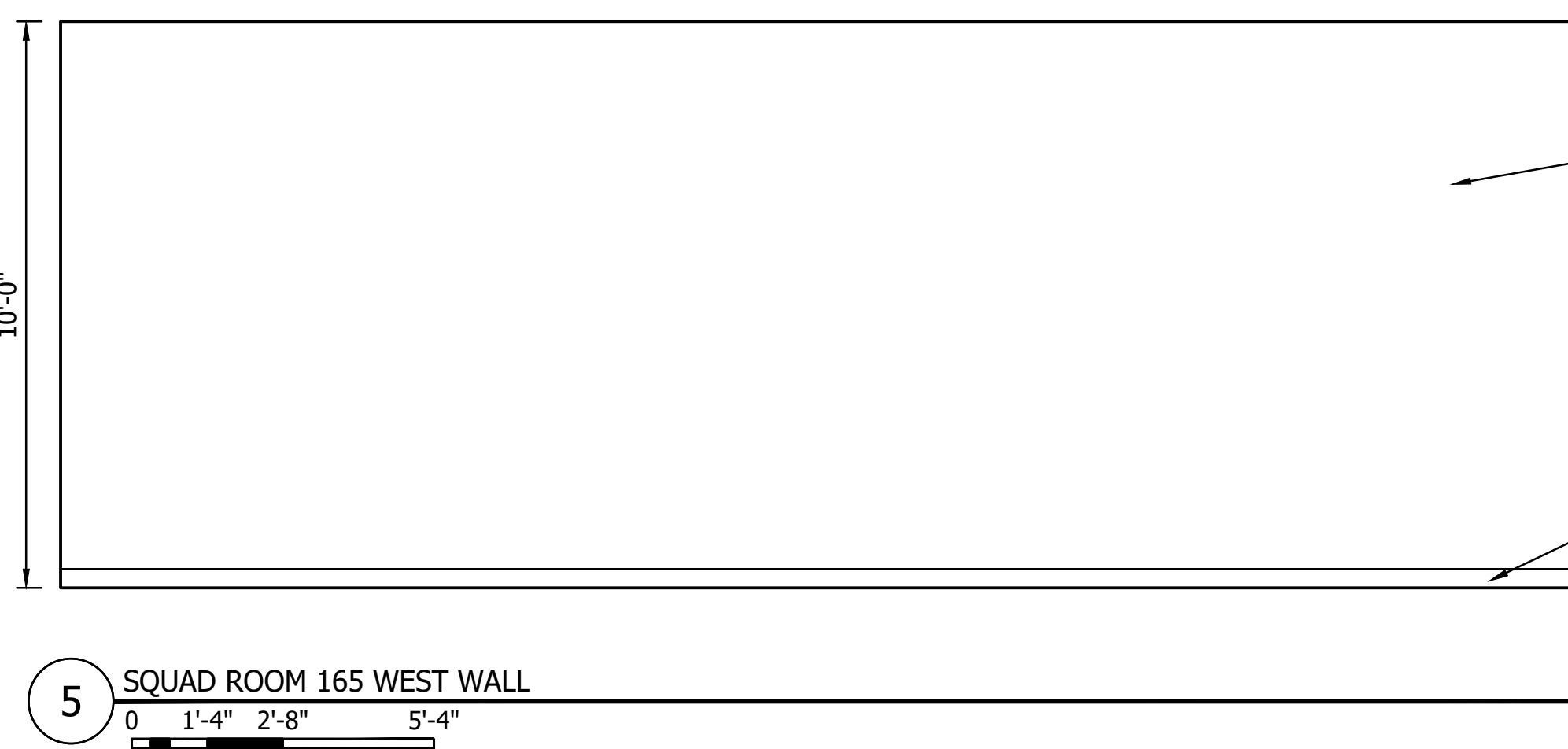
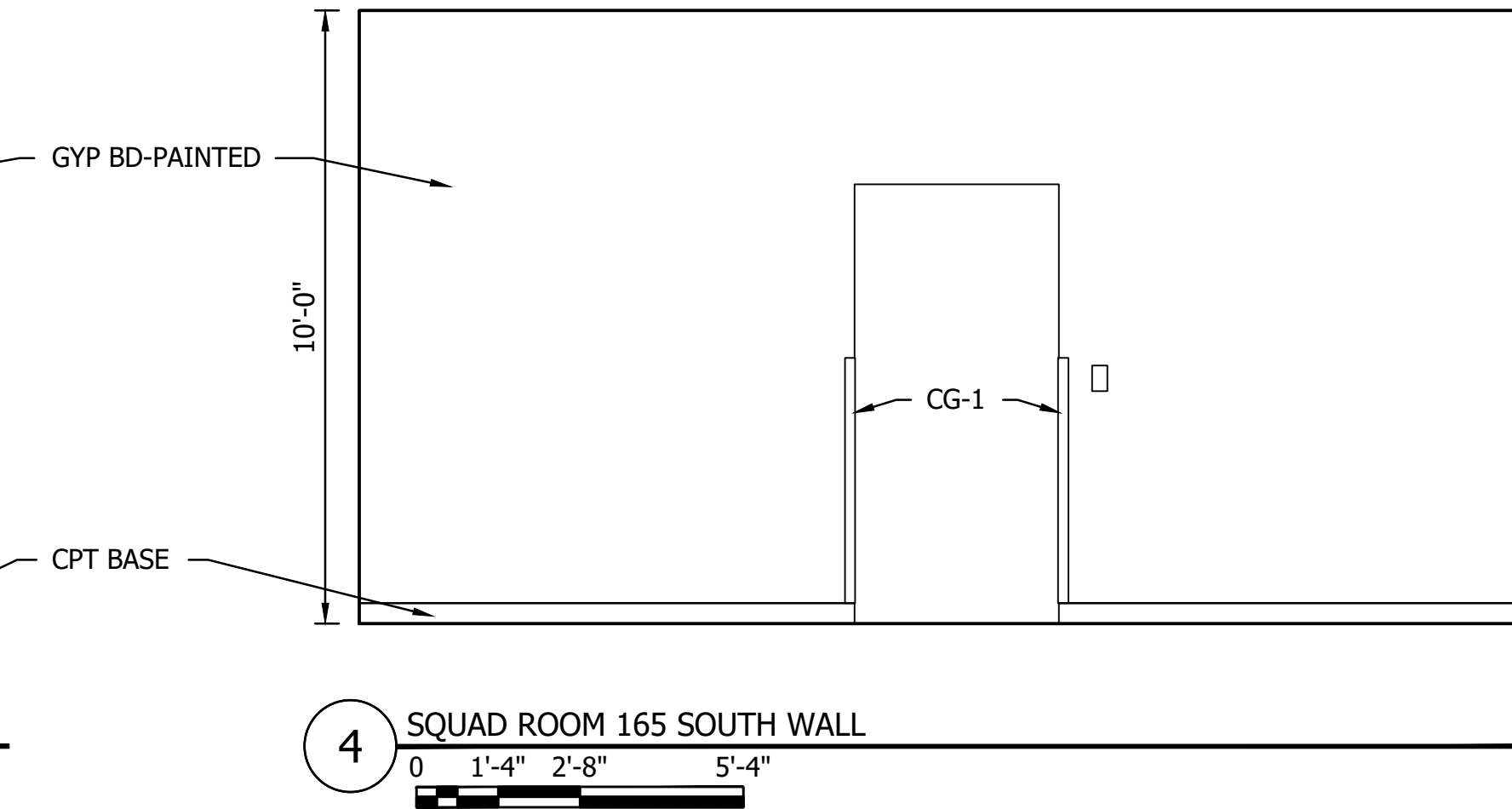
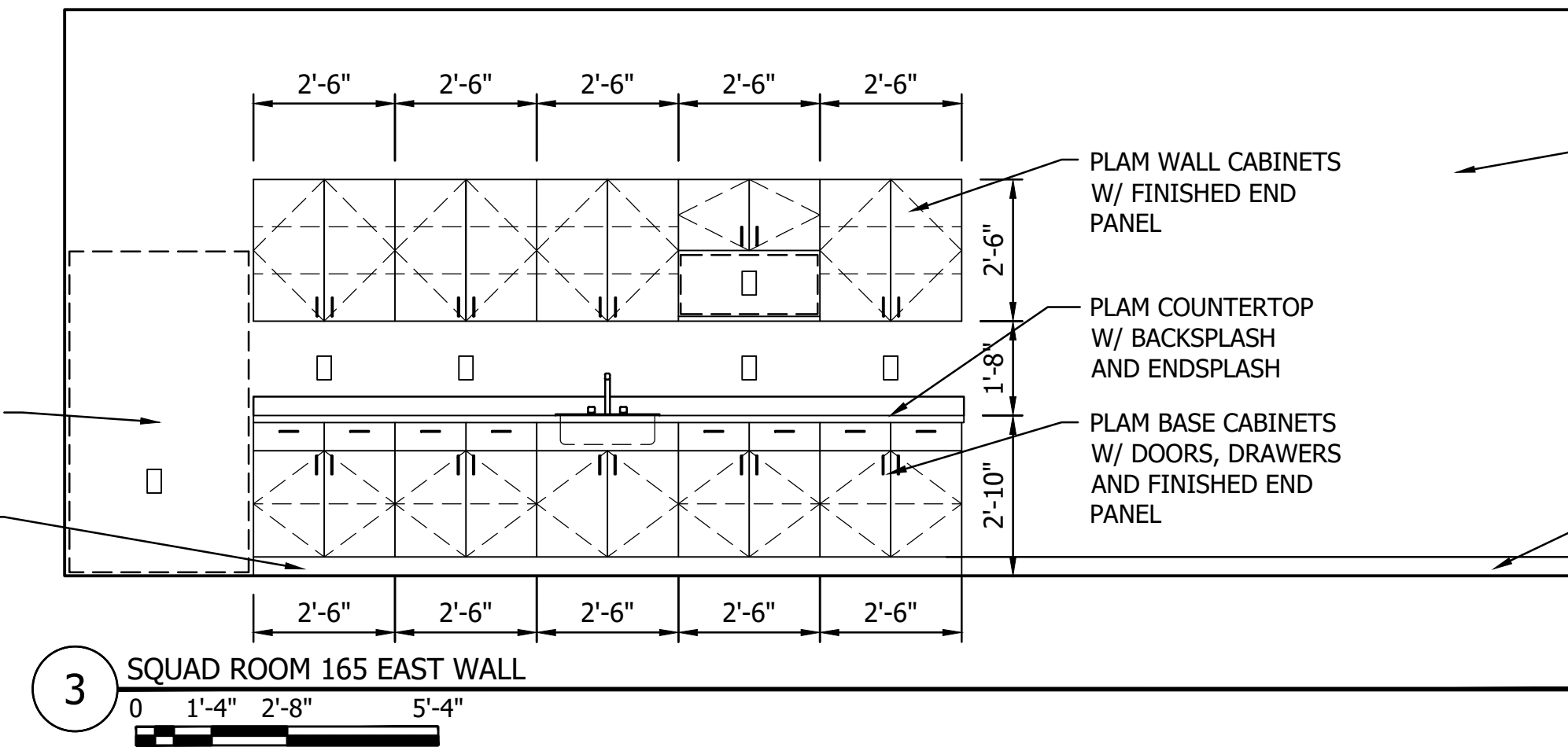
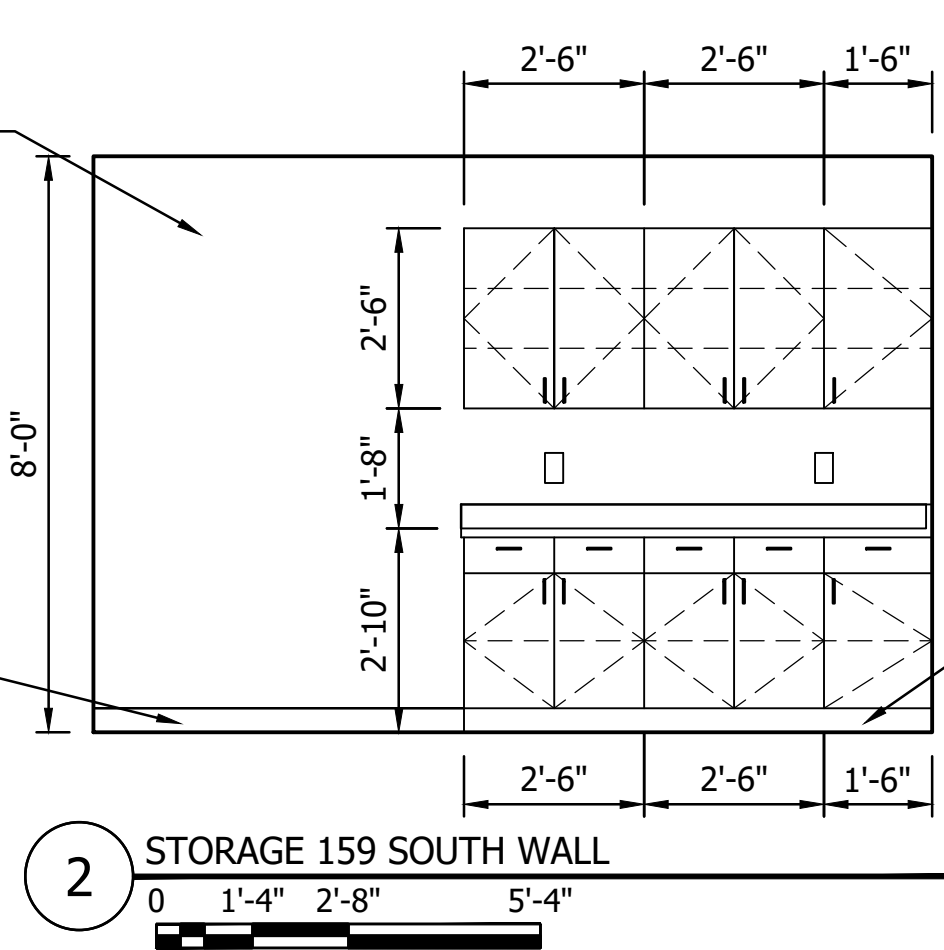
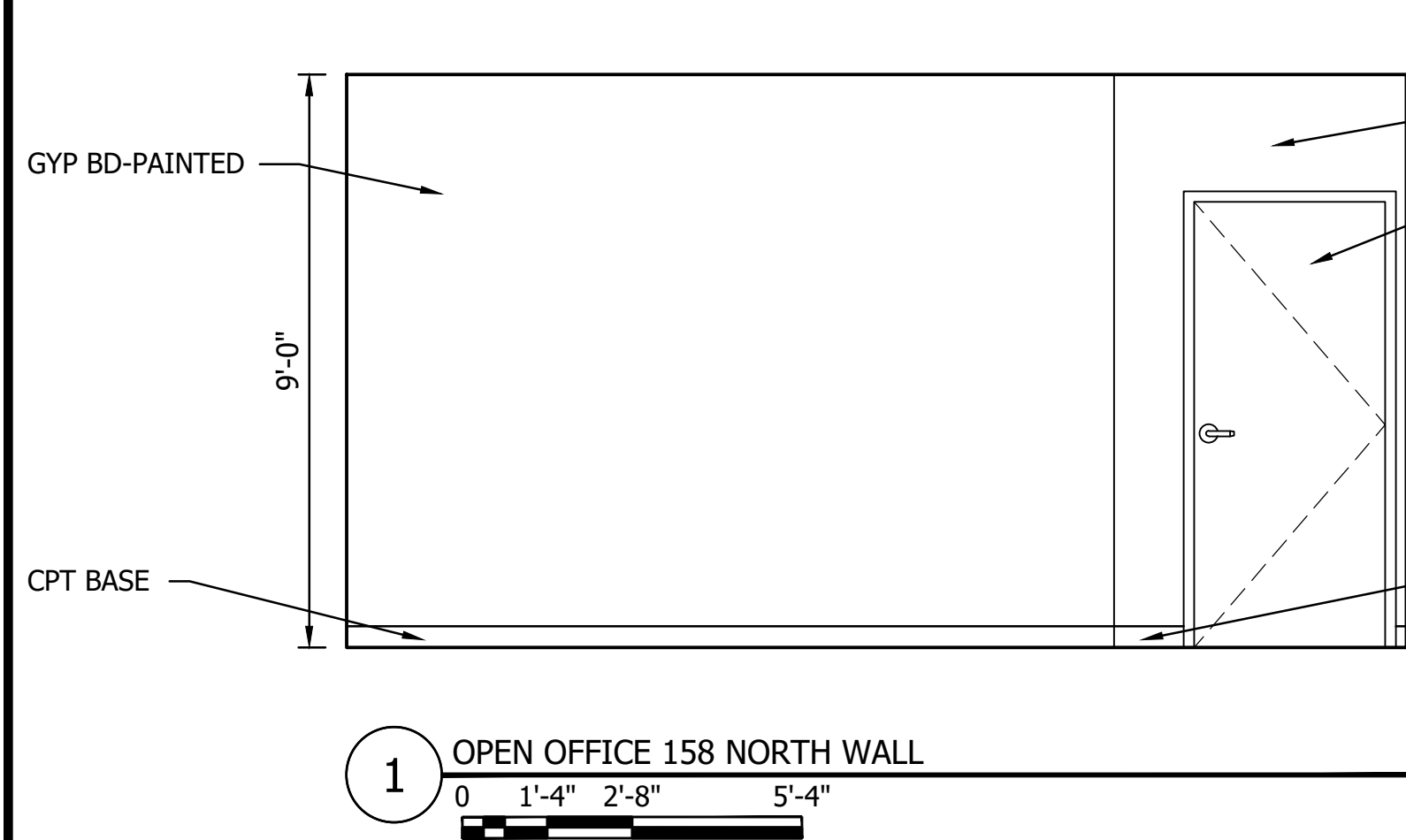
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Proj Date: 09/07/2023 8:45am  
 User: T:\38804848\1314\_135804848-038  
 Project: City of Spring Lake Park - City Hall Renovation/Expansion

NO	REVISION	DATE


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Project: 19380569-CAED (Dwg) 19380569-A09.rvt  
User: T.19380569-A09

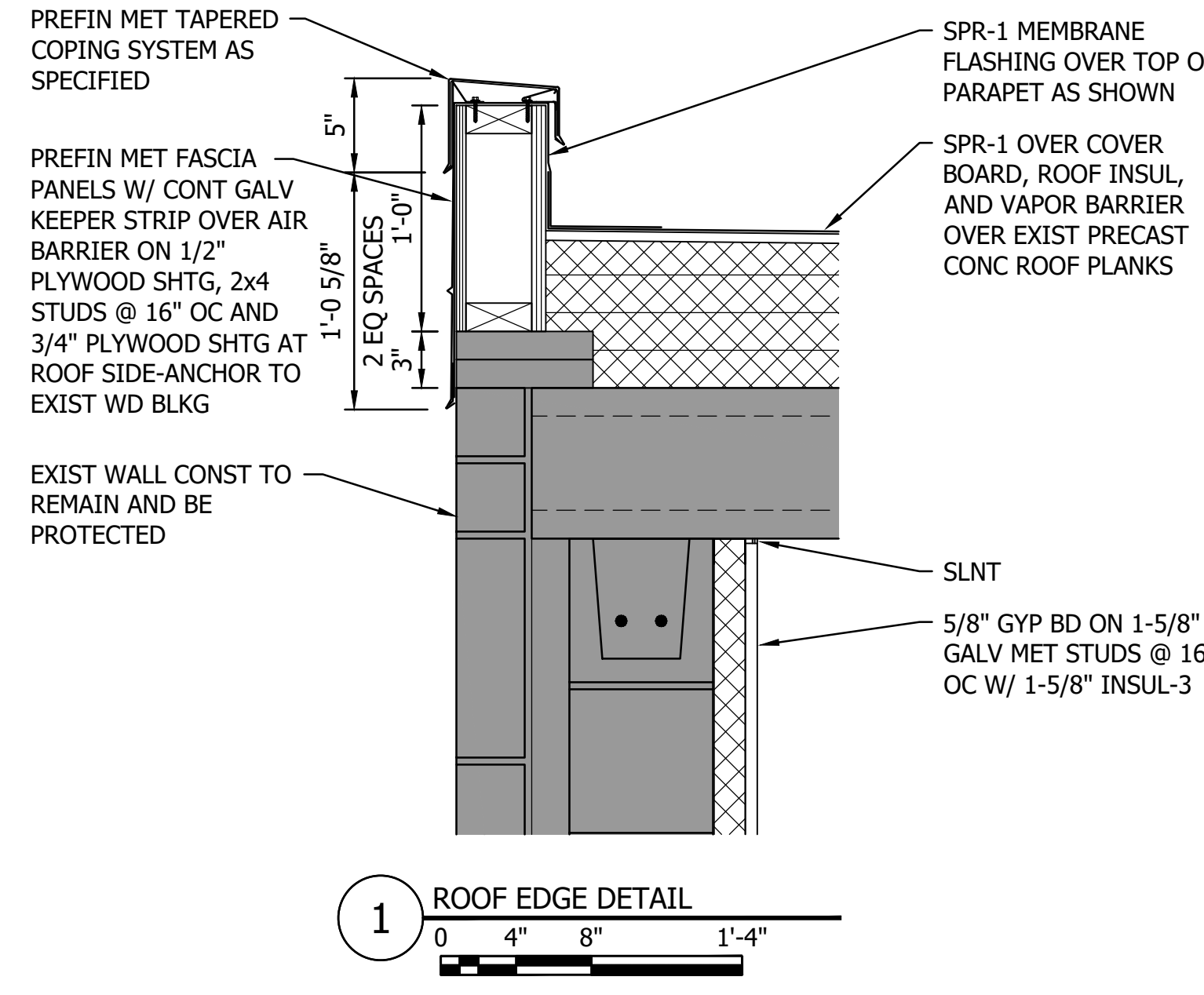
NO	REVISION	DATE

DRAWN	BFP
DESIGNED	BFP
CHECKED	
APPROVED	

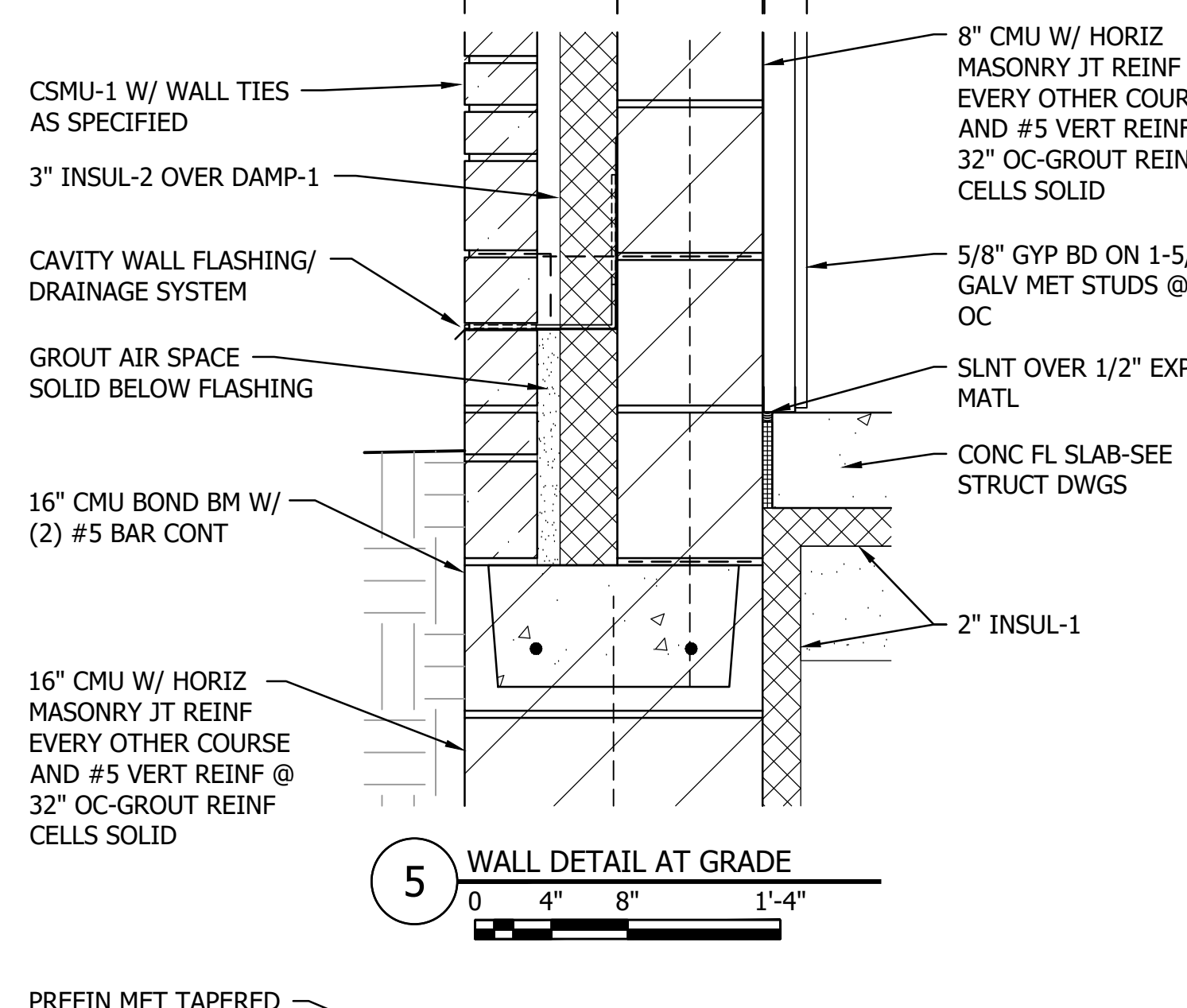
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SHEET NUMBER  
A409



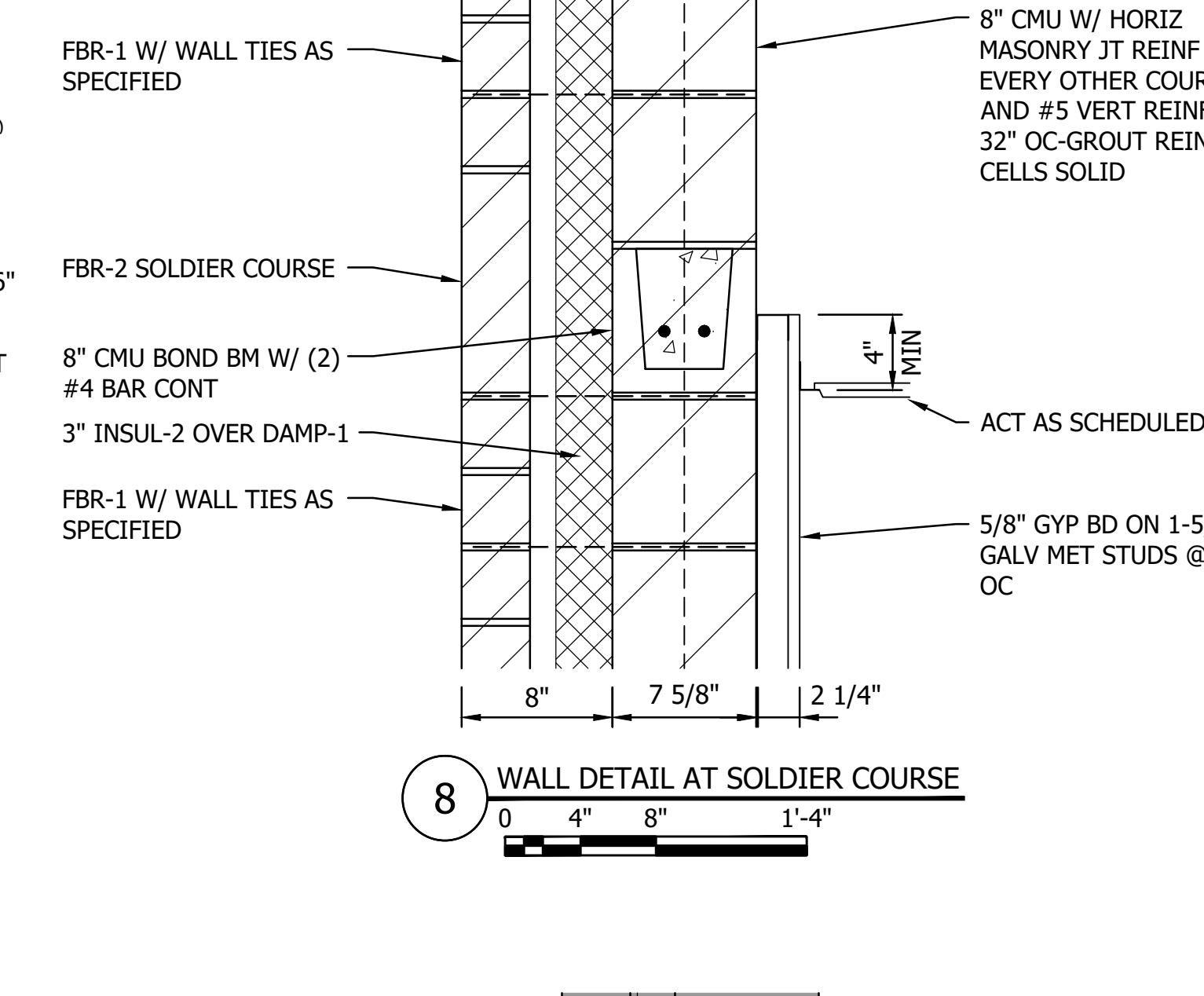




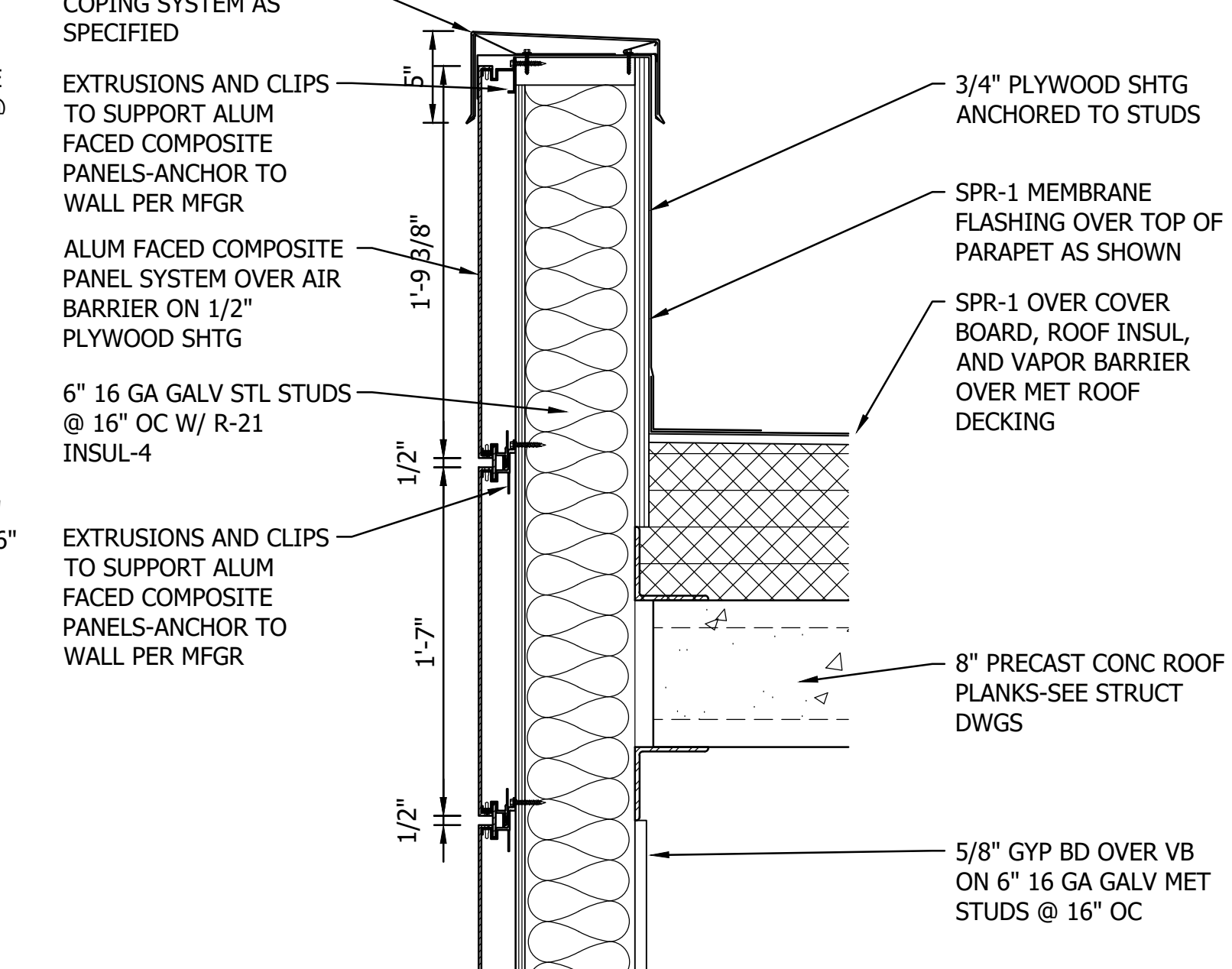
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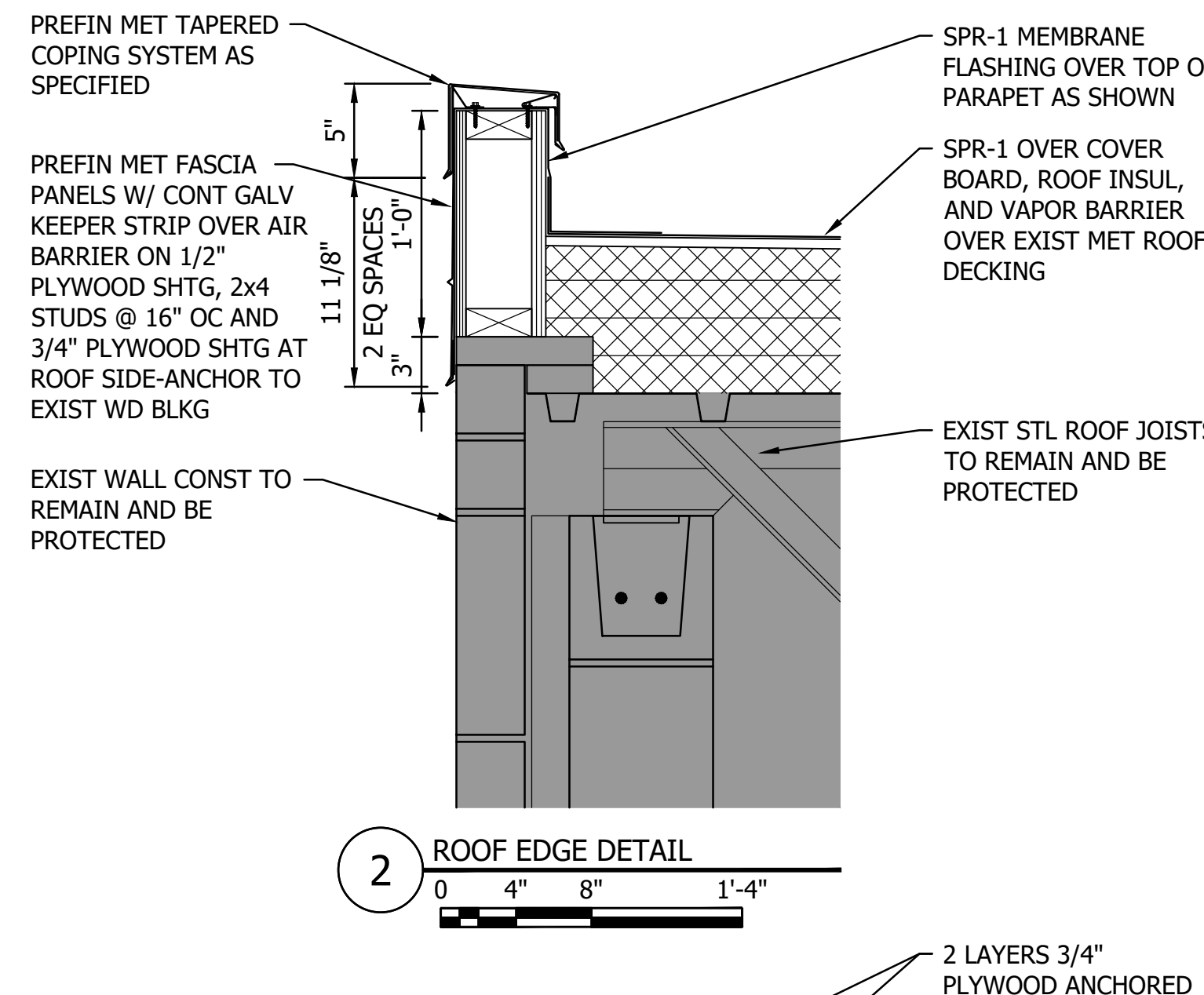
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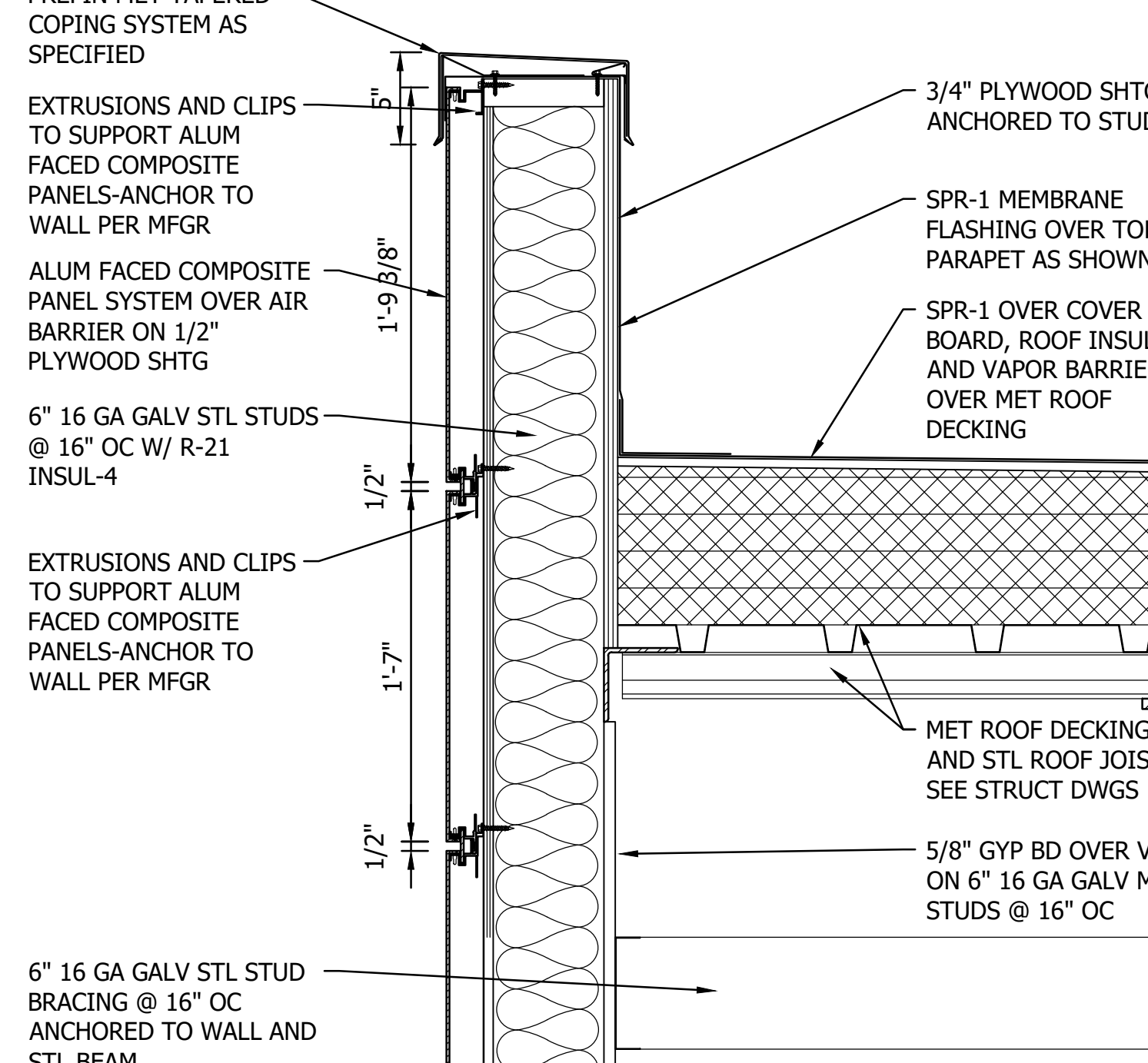
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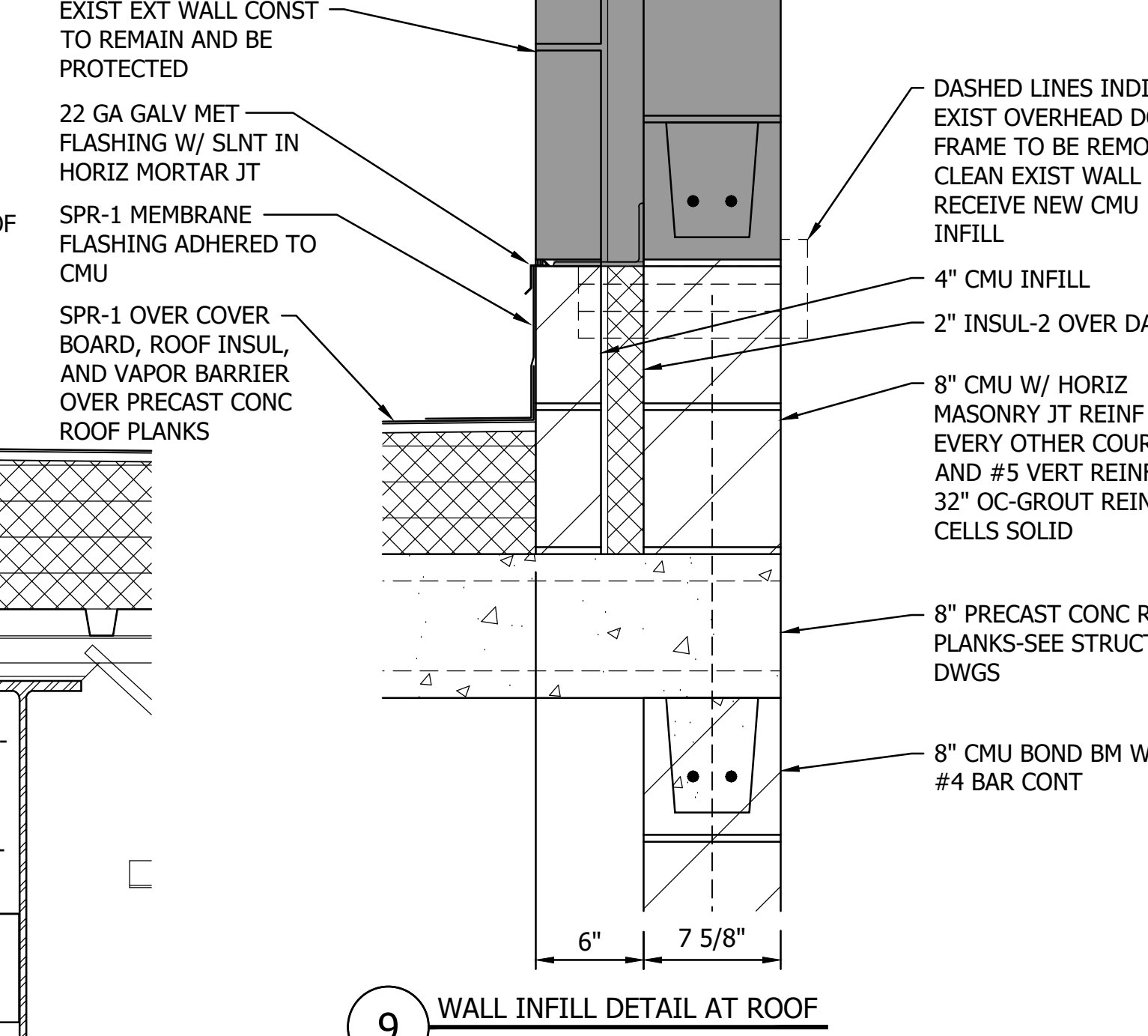
11 WALL DETAIL AT ROOF  
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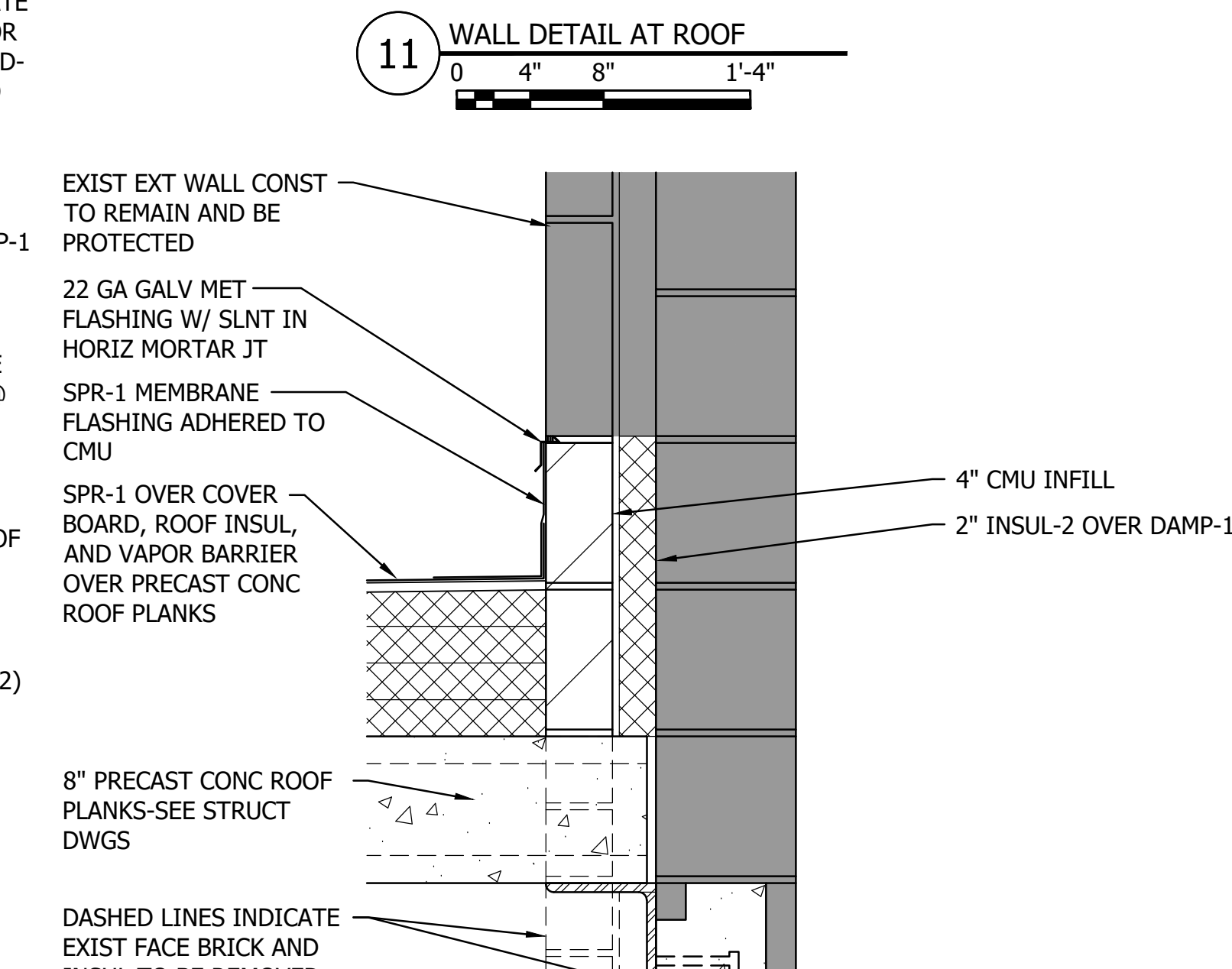
2 ROOF EDGE DETAIL  
0 4" 8" 1'-4"



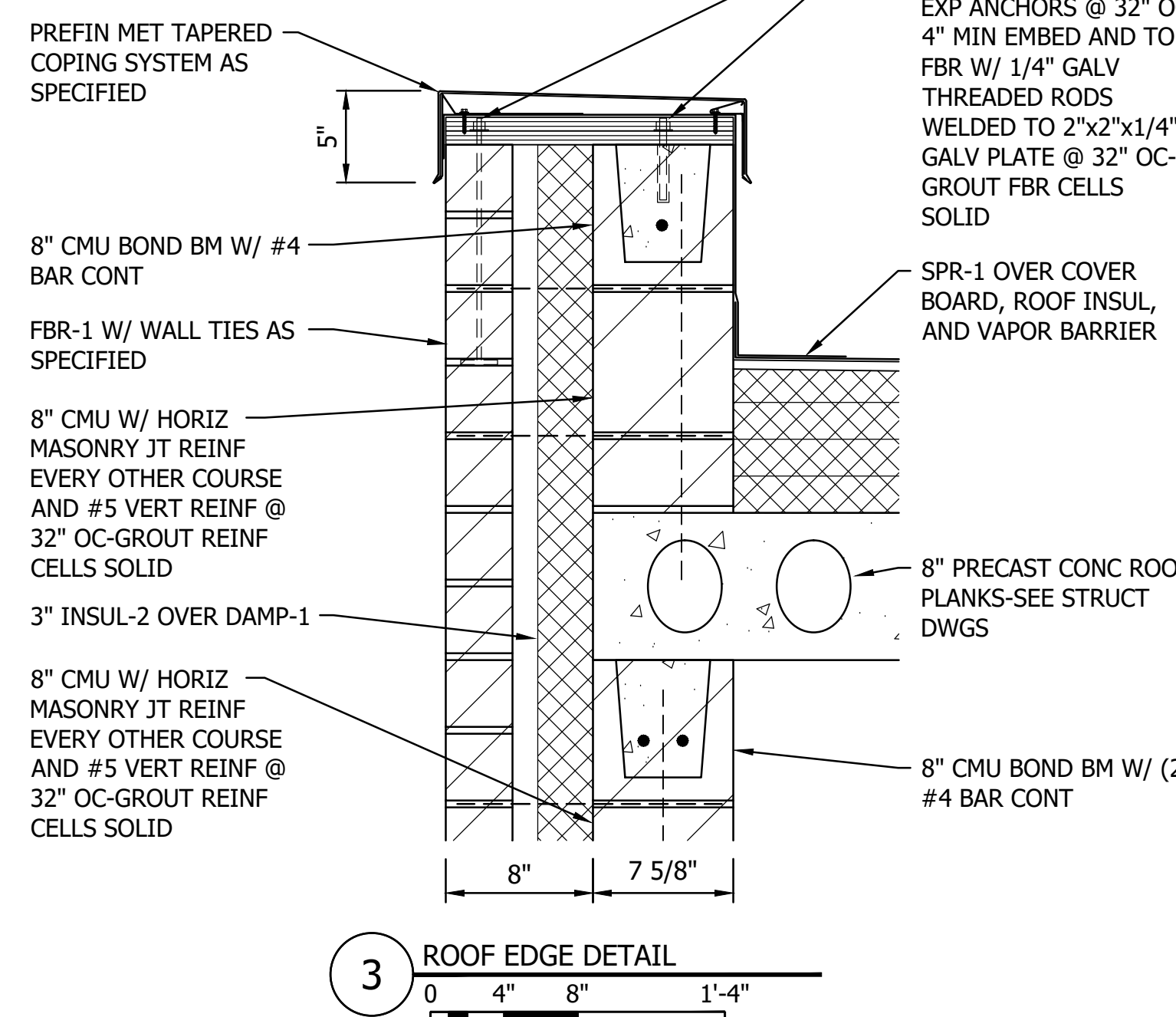
6 LINK WALL DETAIL AT ROOF  
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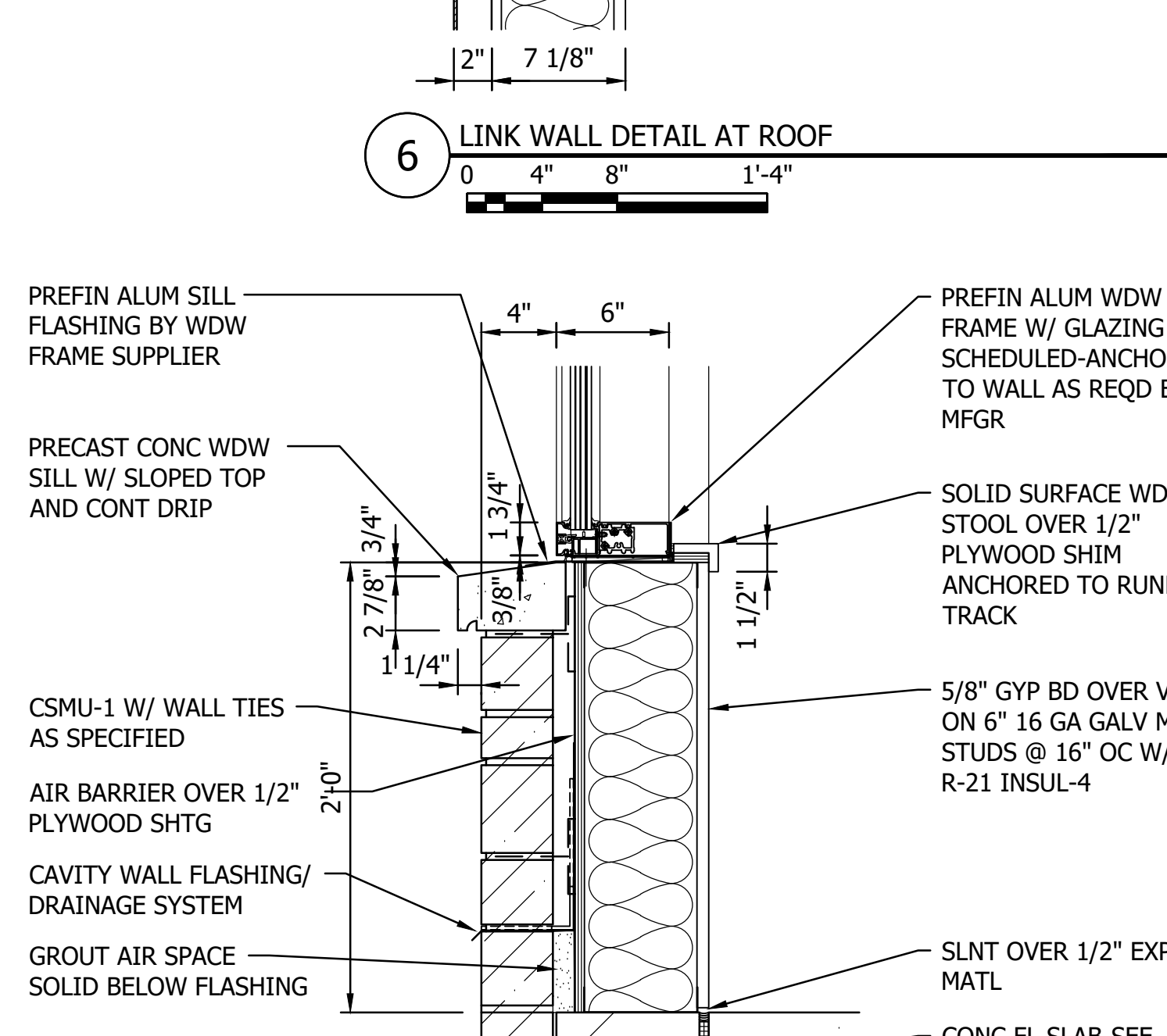
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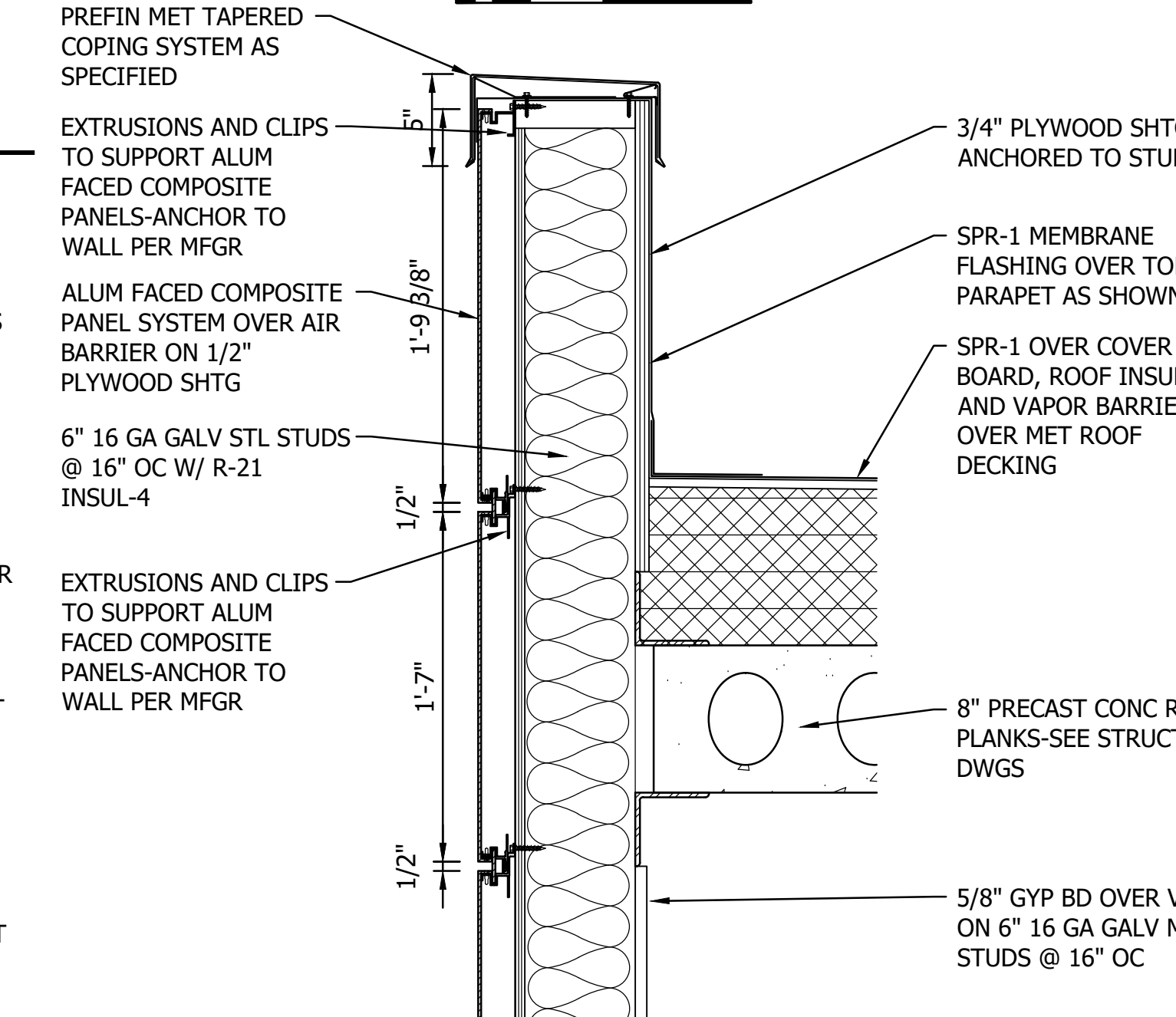
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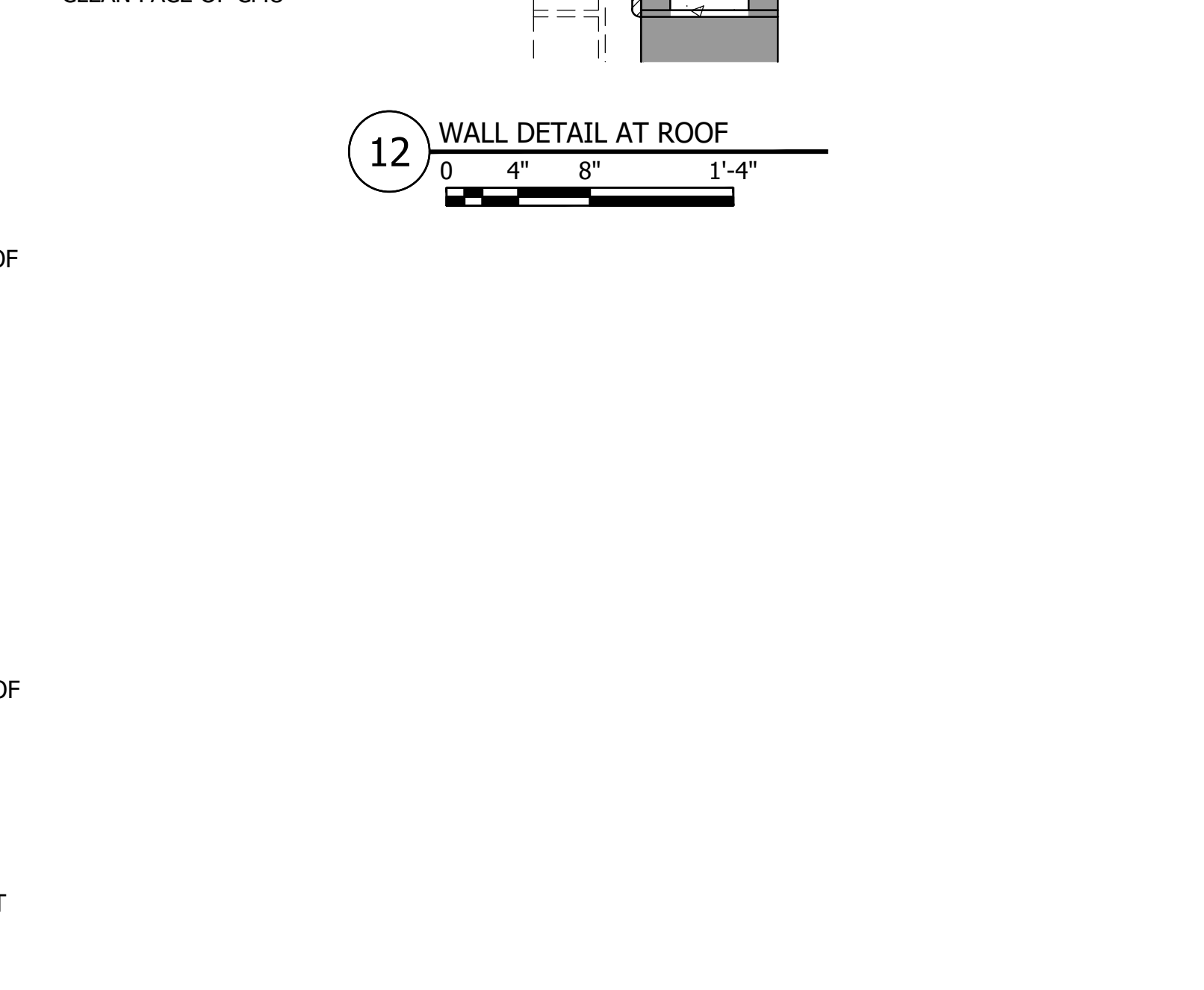
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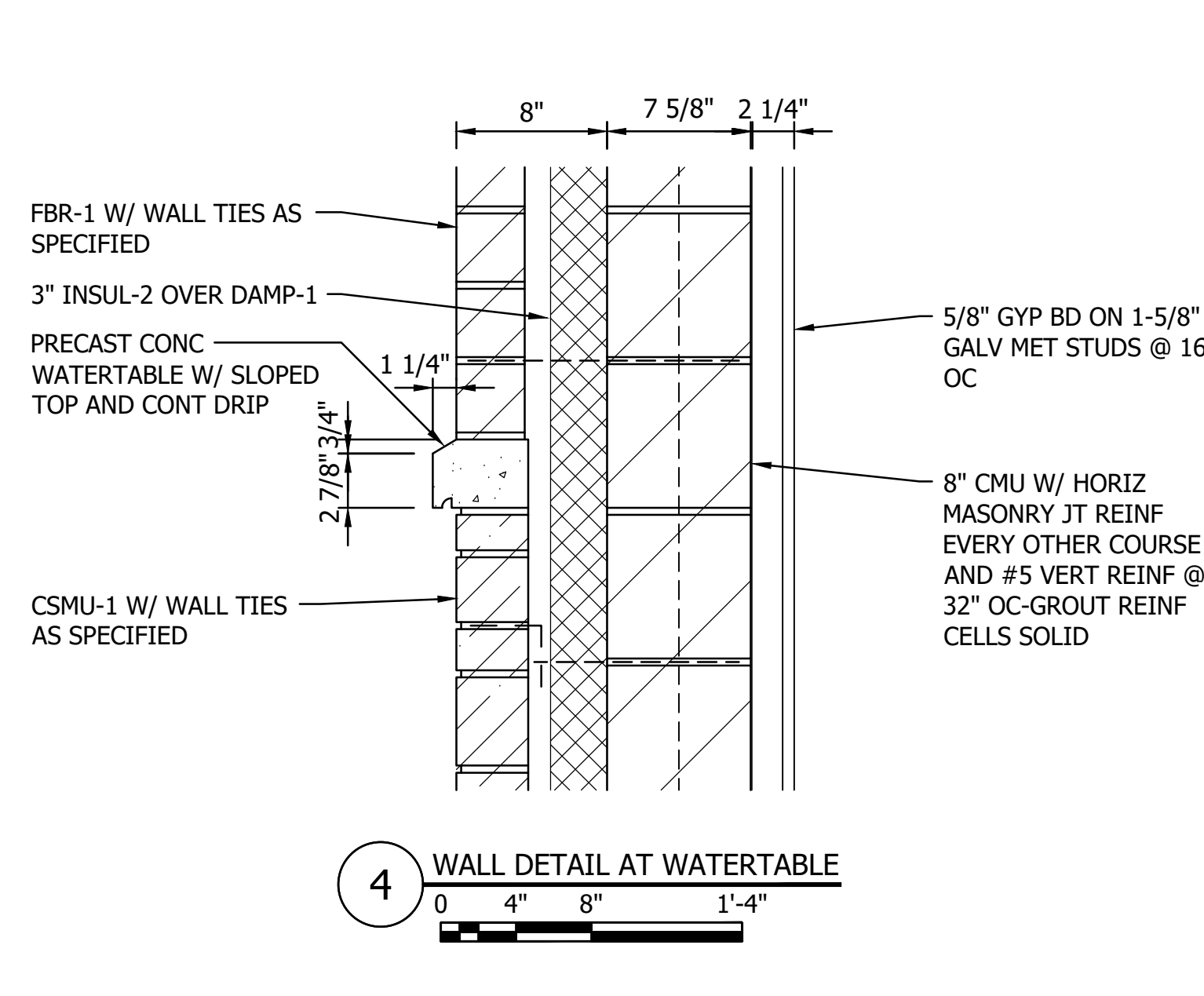
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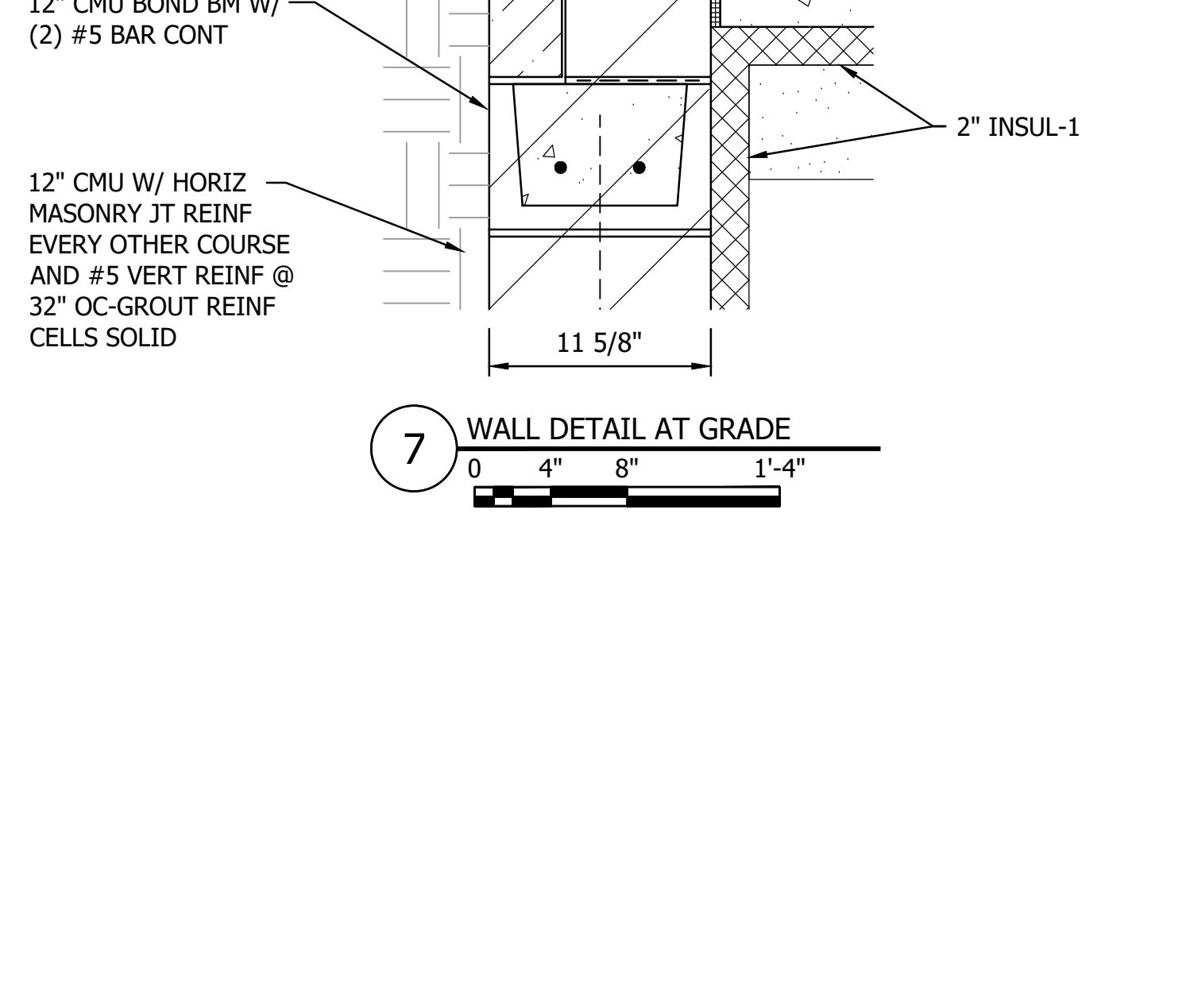
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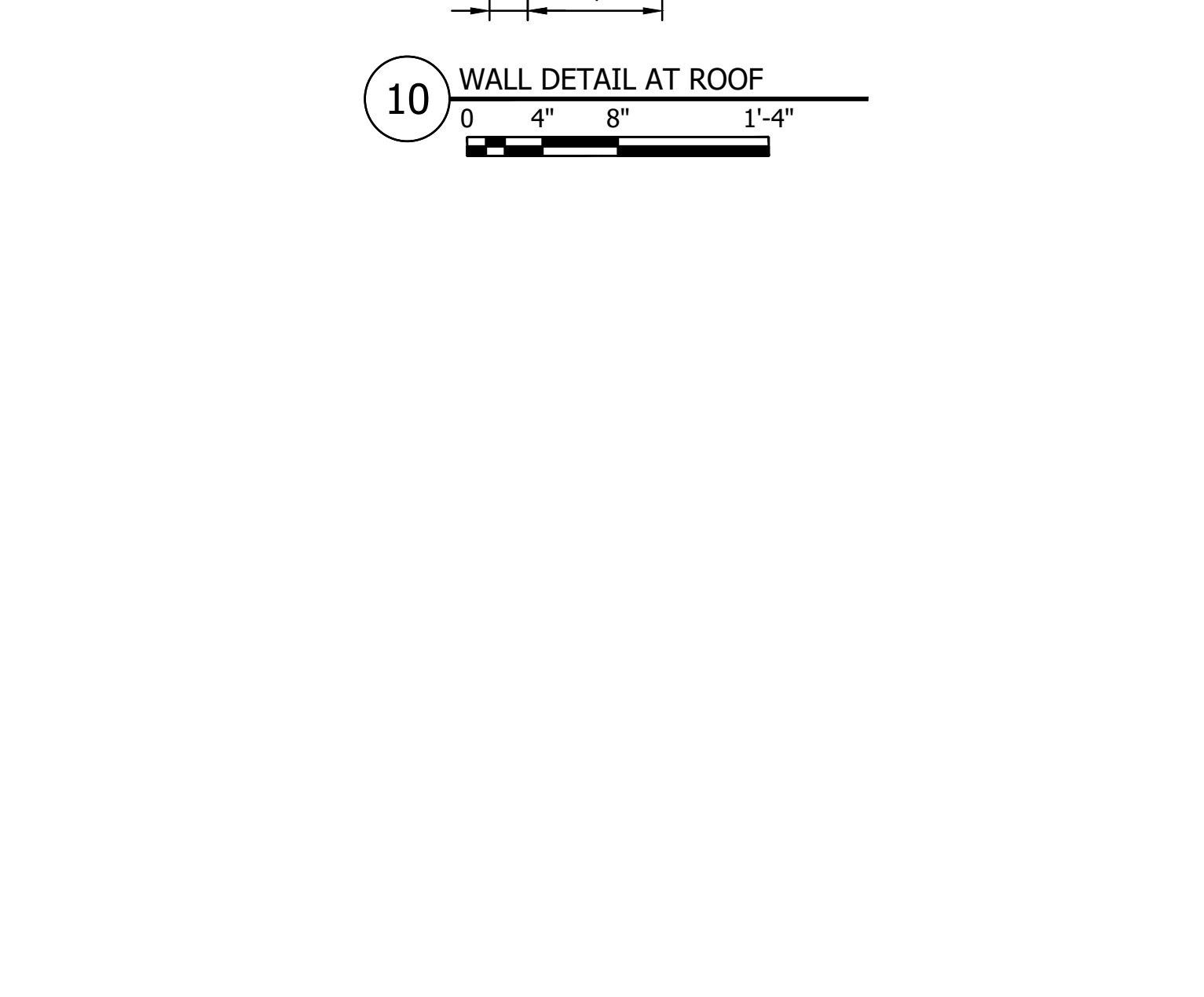
12 WALL DETAIL AT ROOF  
0 4" 8" 1'-4"



4 WALL DETAIL AT WATERTABLE  
0 4" 8" 1'-4"



7 WALL DETAIL AT GRADE  
0 4" 8" 1'-4"



10 WALL DETAIL AT ROOF  
0 4" 8" 1'-4"



12 WALL DETAIL AT ROOF  
0 4" 8" 1'-4"

NO	REVISION	DATE

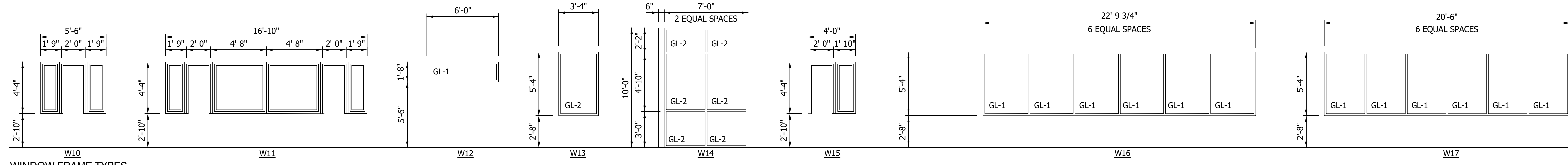
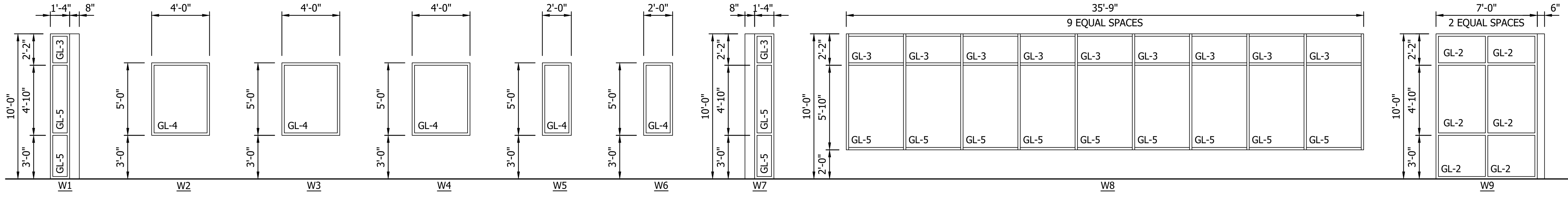




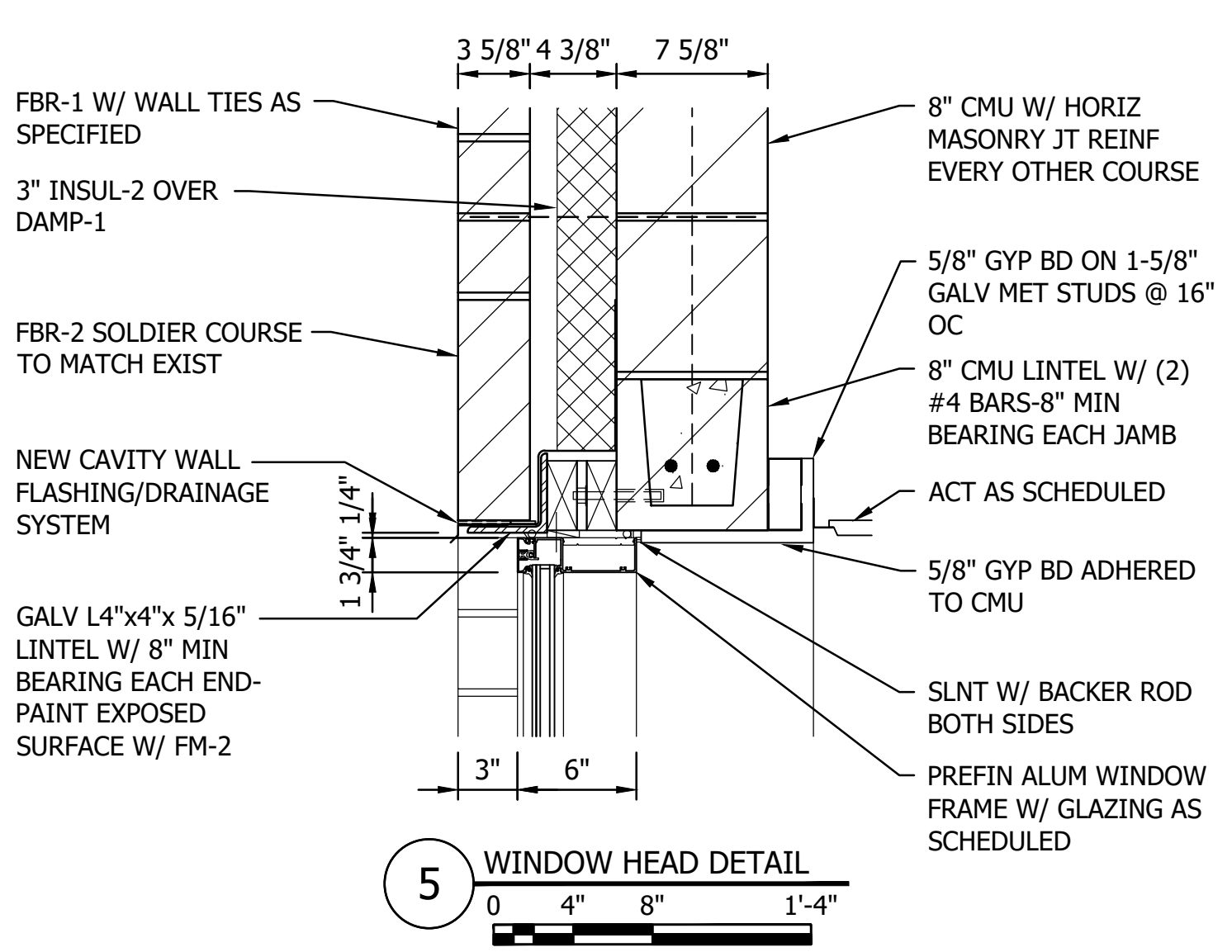
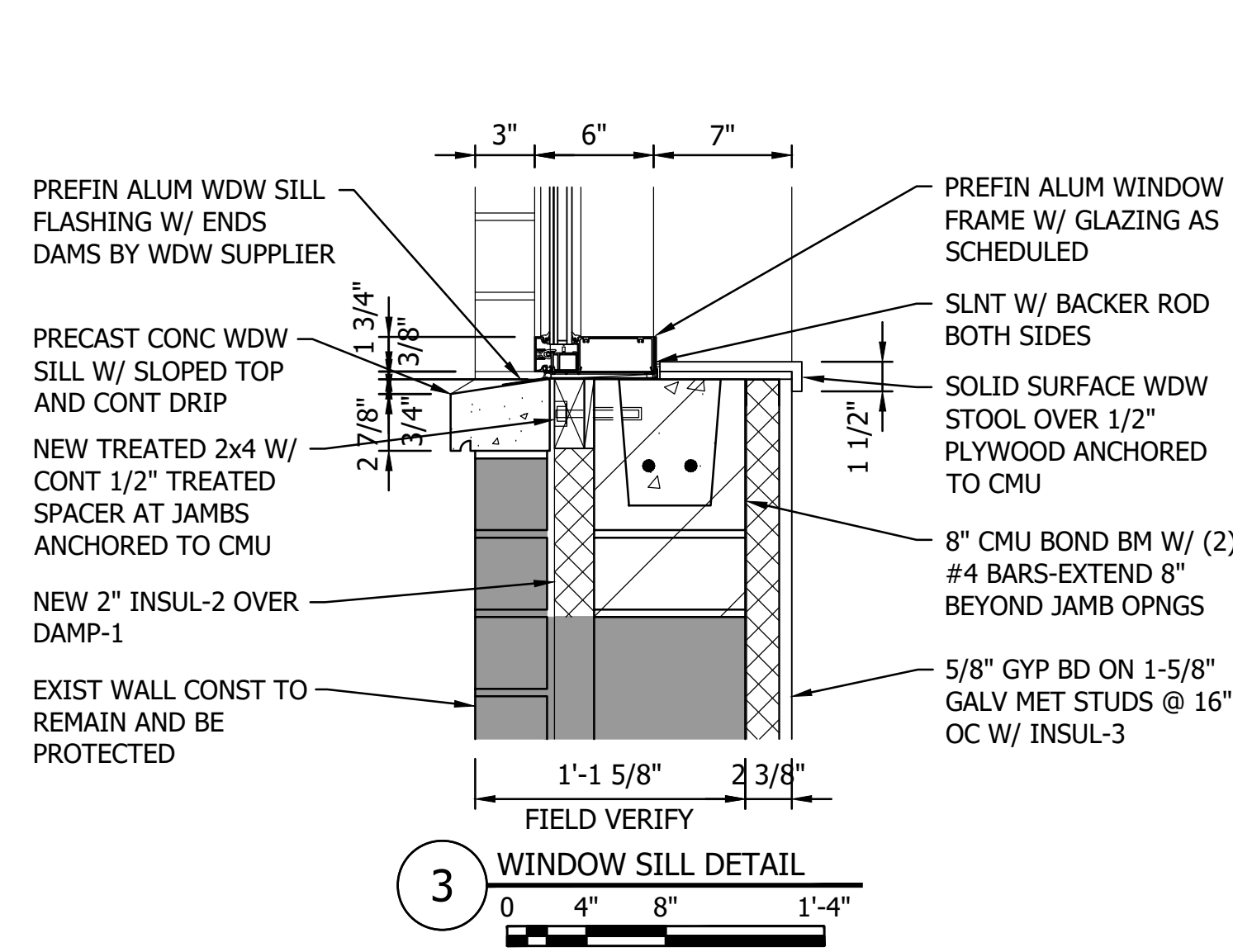
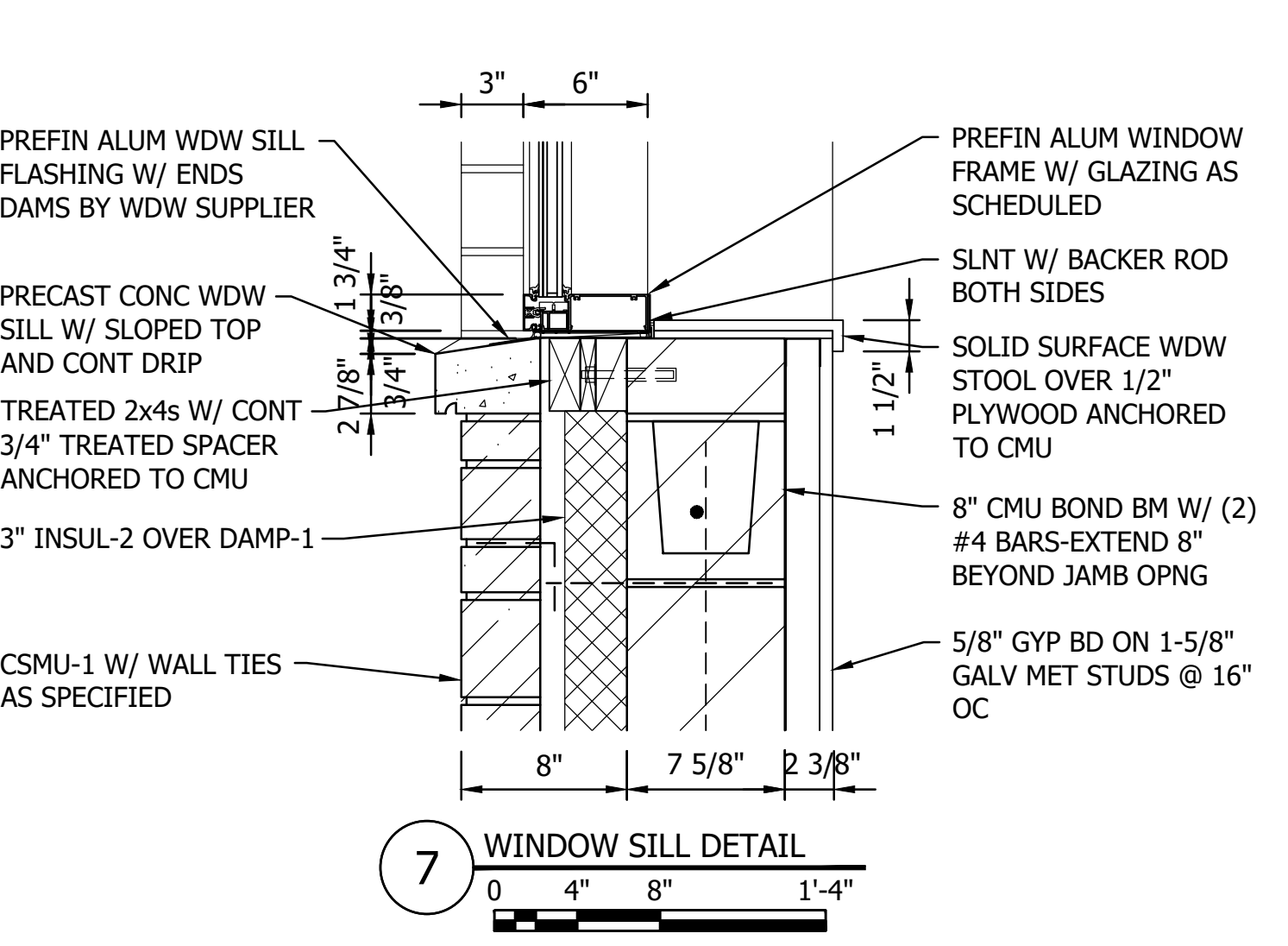
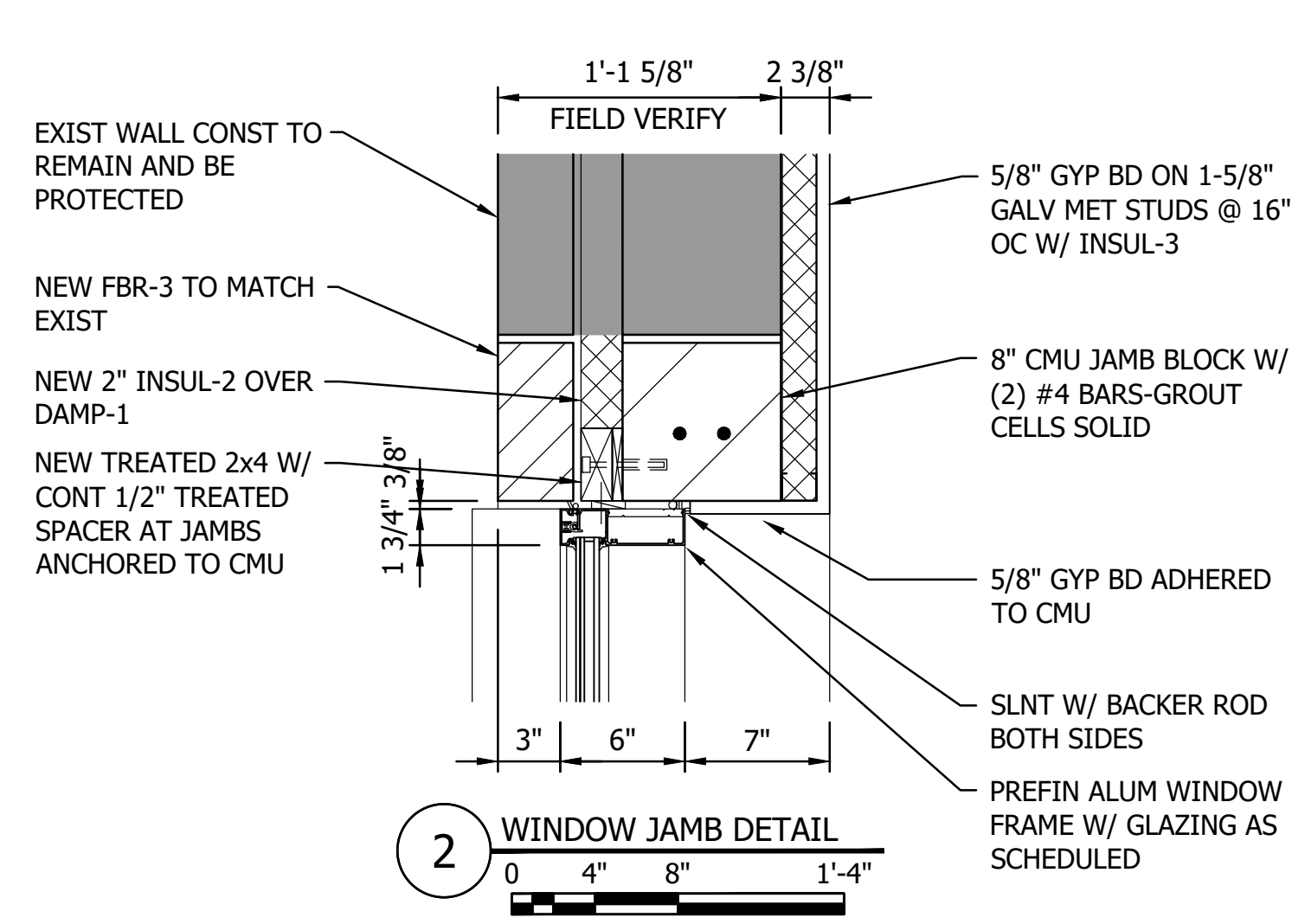
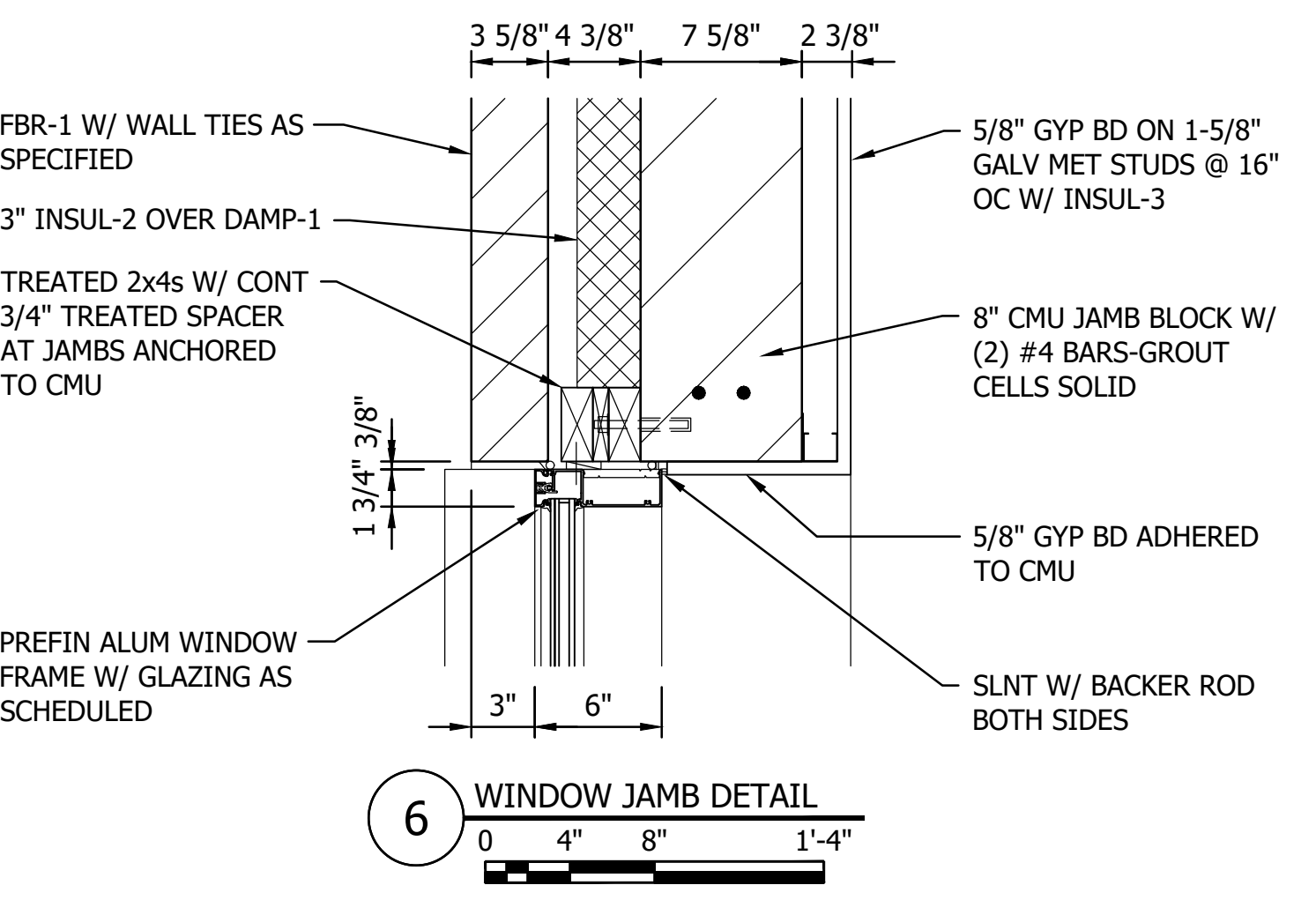
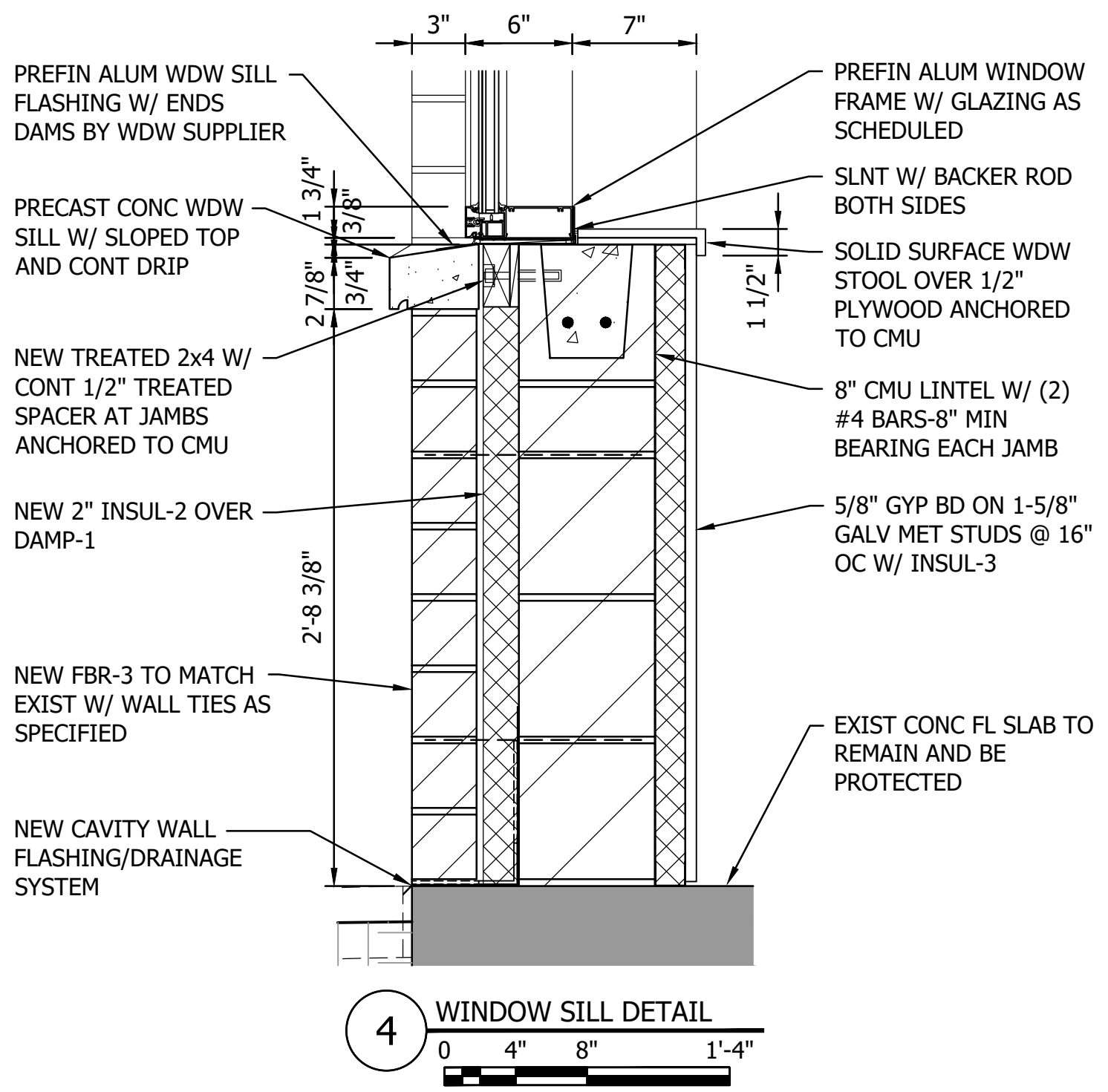
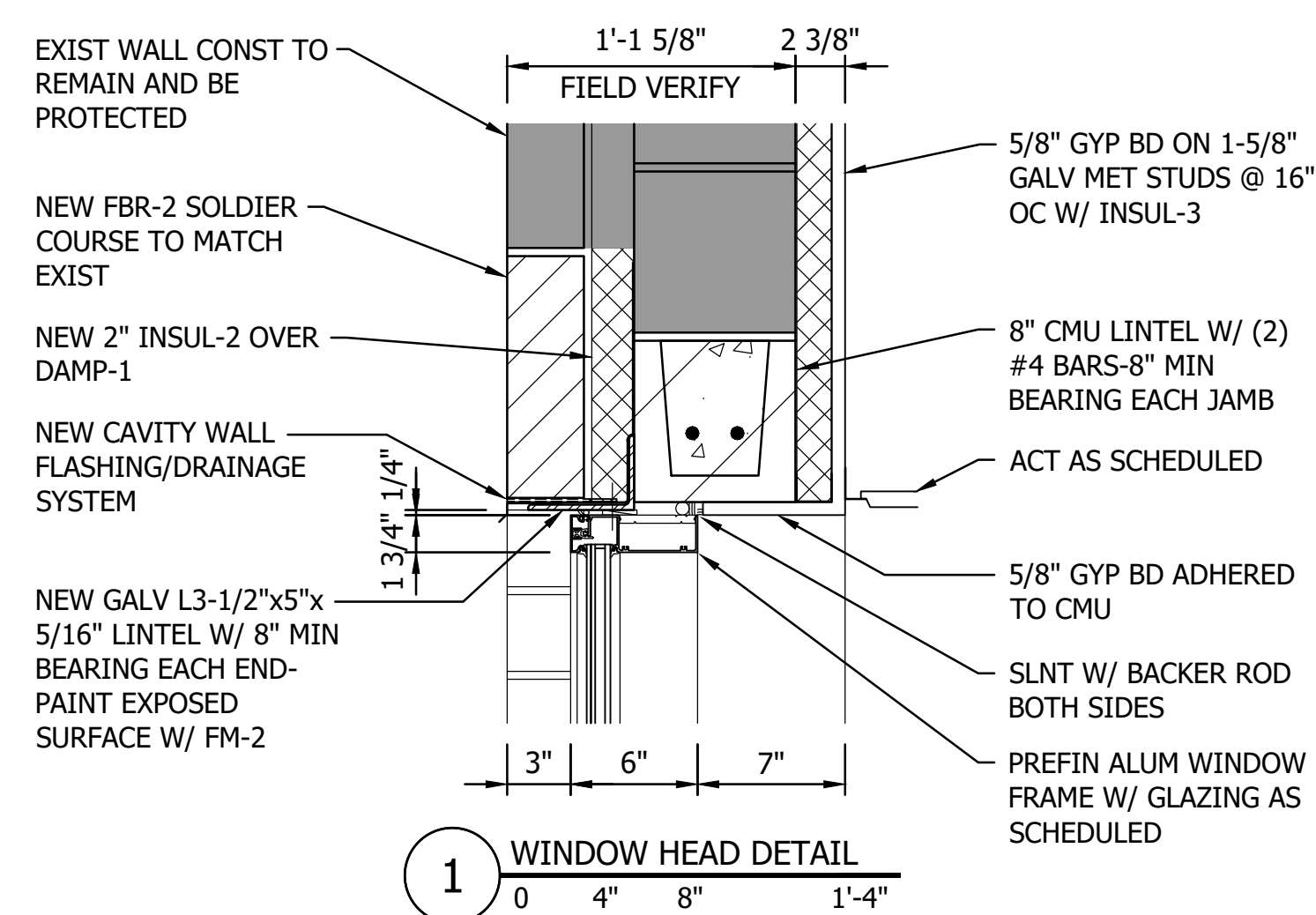
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### WINDOW SCHEDULE

LETTER	FRAME MATL	SIZE		STYLE	GLAZING TYPE	DETAILS	NOTES
		WIDTH	HEIGHT				
W 1	ALUM	1'-4"	10'-0"	FIXED	GL-3/GL-5	-	-
W 2	ALUM	4'-0"	5'-0"	FIXED	GL-4	-	-
W 3	ALUM	4'-0"	5'-0"	FIXED	GL-4	-	-
W 4	ALUM	4'-0"	5'-0"	FIXED	GL-4	-	-
W 5	ALUM	2'-0"	5'-0"	FIXED	GL-4	-	-
W 6	ALUM	2'-0"	5'-0"	FIXED	GL-4	-	-
W 7	ALUM	1'-4"	10'-0"	FIXED	GL-3/GL-5	-	-
W 8	ALUM	35'-9"	8'-0"	FIXED	GL-3/GL-5	-	-
W 9	ALUM	7'-0"	10'-0"	FIXED	GL-2	-	-
W10	MET	5'-6"	4'-4"	BR FRAMING	08 39 54	-	-
W11	MET	16'-10"	4'-4"	BR FRAMING	08 39 54	-	-
W12	ALUM	6'-0"	1'-8"	FIXED	GL-1	-	-
W13	ALUM	3'-4"	5'-4"	FIXED	GL-2	-	-
W14	ALUM	7'-0"	10'-0"	FIXED	GL-2	-	-
W15	MET	4'-0"	4'-4"	BR FRAMING	08 39 54	-	-
W16	ALUM	22'-9 3/4"	5'-4"	FIXED	GL-1	-	-
W17	ALUM	20'-6"	5'-4"	FIXED	GL-1	-	-



WINDOW FRAME TYPES














Plot Date: 09/07/2023 8:45am  
 Project: 193806049 - City Hall Renovation/Expansion  
 User: 193806049 - BFP

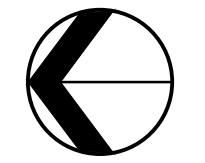
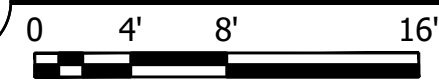
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**REFLECTED CEILING KEY**

- |   |                          |   |                  |
|---|--------------------------|---|------------------|
|  | LIGHT FIXTURE            |  | HVAC SUPPLY      |
|  | LIGHT FIXTURE            |  | HVAC RETURN      |
|  | EXIT LIGHTING            |  | OCCUPANCY SENSOR |
|  | ONE-HOUR FIRE RATED WALL |  | HEAT DETECTOR    |
|  | TWO-HOUR FIRE RATED WALL |  | SMOKE DETECTOR   |
|   |                          |  | SPRINKLER HEAD   |

**1 RENOVATED MAIN LEVEL REFLECTED CEILING PLAN**

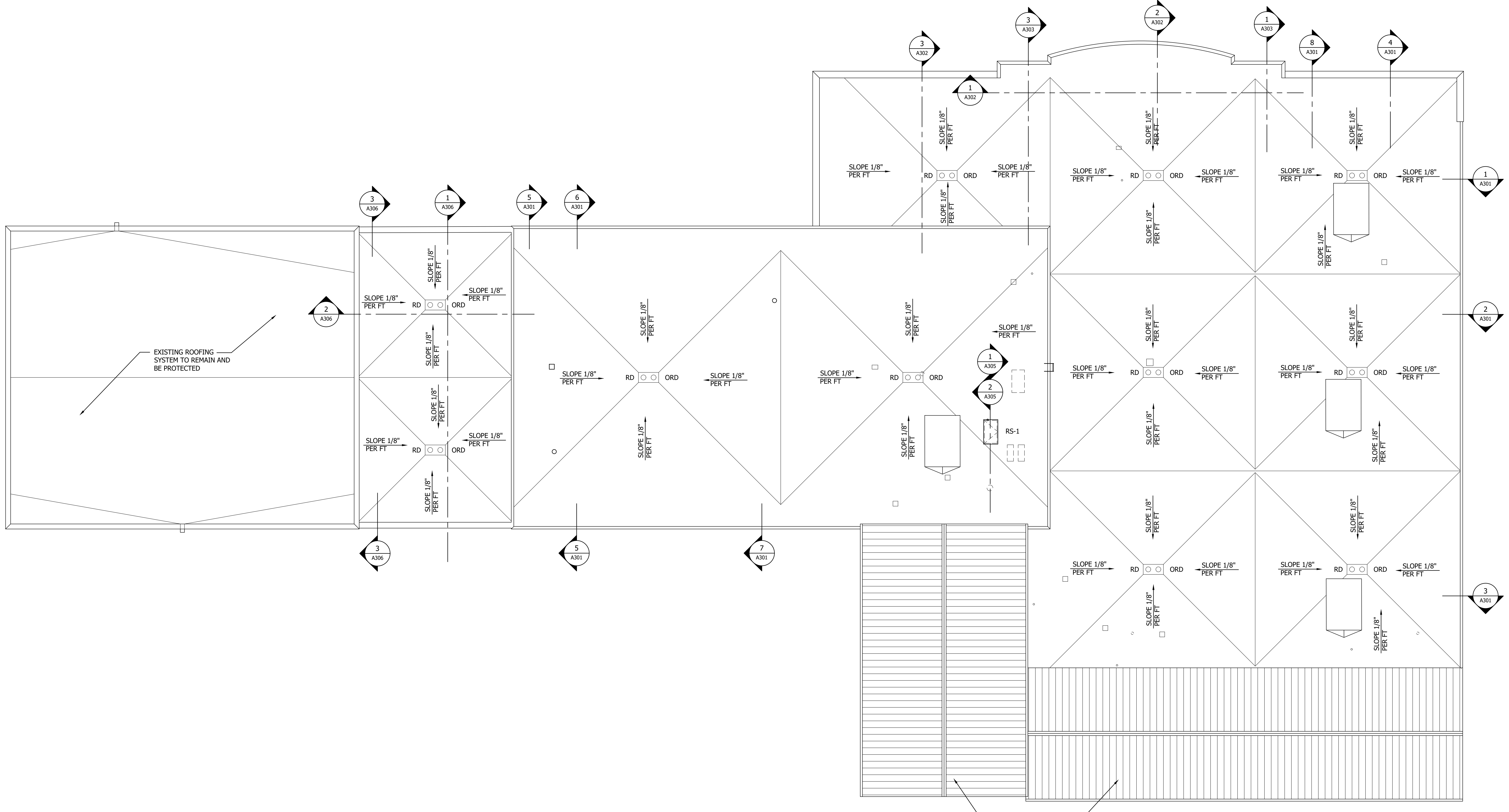


I HAVE REVIEWED THIS DRAWING AND CONFIRM THAT THE DESIGN IS ACCURATE AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LICENSE BOARD OF ARCHITECTURE FOR THE STATE OF MINNESOTA.  
 PRINT NAME: BRUCE E. LAURSON  
 SIGNATURE: \_\_\_\_\_  
 DATE: 02/28/2024  
 LIC. NO.: 02010

NO	REVISION	DATE

Plot Date: 09/07/2023 8:55am  
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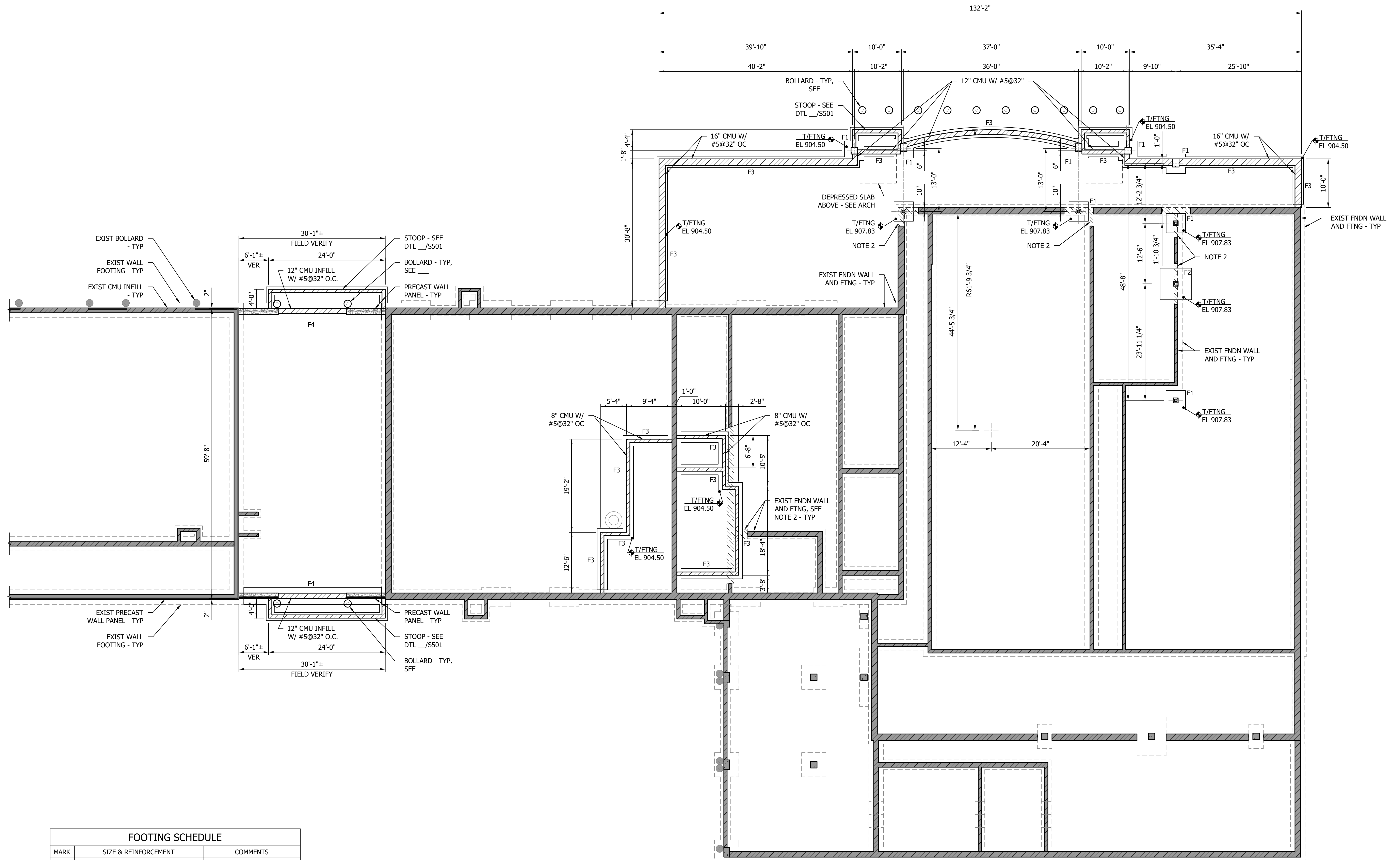
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1 RENOVATED ROOF PLAN  
0 4' 8' 16'

Plot Date: 09/07/2022 8:55am  
User: 193806049  
File: 193806049-ROOF.dwg  
Project: 193806049  
Sheet: A801.dwg





FOOTING SCHEDULE		
MARK	SIZE & REINFORCEMENT	COMMENTS
F1	4'-0" SQ x 1'-0" THICK W/ (5)-#5 EW	MIN 16" SQ PIER W/ (8)-#6 VERT, PERIM LOCATIONS ONLY
F2	6'-6" SQ x 1'-0" THICK W/ (7)-#5 EW	16" SQ PIER W/ (8)-#6 VERT
F3	2'-2" CONT x 1'-0" THICK W/ (3)-#5 CONT	-
F4	3'-6" CONT x 1'-0" THICK W/ (4)-#5 CONT	EMBED PLATES PER PRECASTER

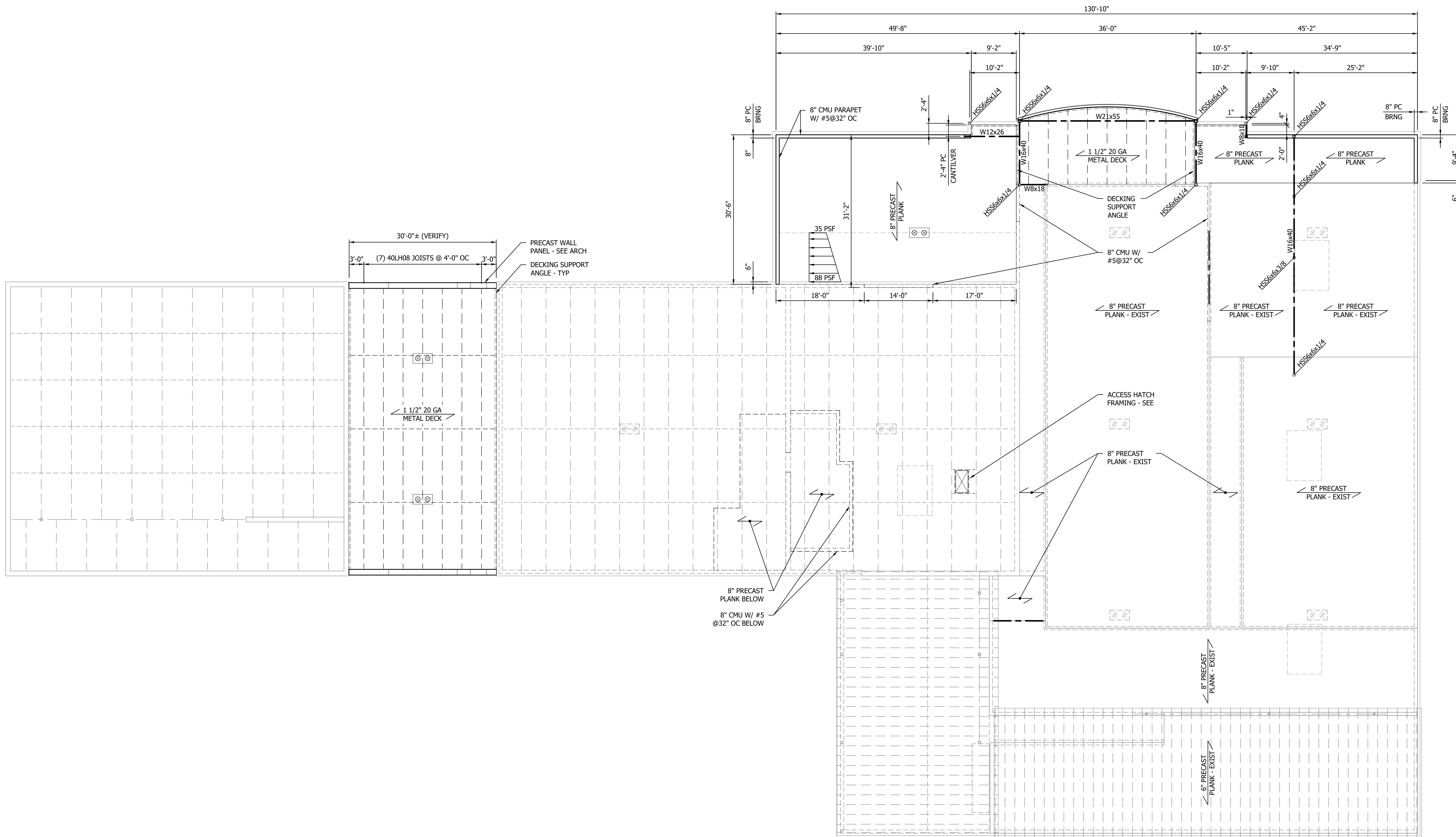
- FOUNDATION NOTES:**
- FOOTING REINFORCING STEEL SHALL BE PLACED IN BOTTOM MAT UNLESS OTHERWISE NOTED.
  - HOOK VERTICAL PIER AND WALL REINFORCEMENT INTO FOOTING.
  - PIERS SHALL RECEIVE #3 TIES WITH TOP (4) TIES AT 2" SPACING, ELSE 10" SPACING.

**1 FOUNDATION PLAN**  
0 4' 8' 16'

- NOTES:**
- VERIFY EXISTING FOUNDATIONS. NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
  - REMOVE EXISTING FOOTING AND BELOW GRADE WALL MINIMUM 1'-0" BEYOND LIMITS OF NEW FOOTING.
  - SEE SCHEDULE FOR FOOTING SIZE.
  - TOP OF FOUNDATION WALL AND PIER ELEVATIONS SHALL BE 907'-10" UNLESS OTHERWISE NOTED.



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LINTEL SCHEDULE		
MARK	SIZE	DETAILS
L1	W8x24 W/ 5/8" ϕ RODS @ 32" O.C.	1 & 2/S502

WE HEREBY CERTIFY THAT WE ARE A REGISTERED PROFESSIONAL ARCHITECT UNDER THE LICENSED ARCHITECT ACT OF THE STATE OF MINNESOTA.  
PRINT NAME: BRUCE L. PALOUSEN  
SIGNATURE:  
DATE: SEPTEMBER 11, 2023. LIC. NO. 202015

NO	REVISION	DATE

SURVEY  
 DRAWN: HMP  
 DESIGNED: HMP  
 CHECKED:  
 APPROVED:  
 PROJ. NO. 193806047  
 SHEET NUMBER  
**S201**

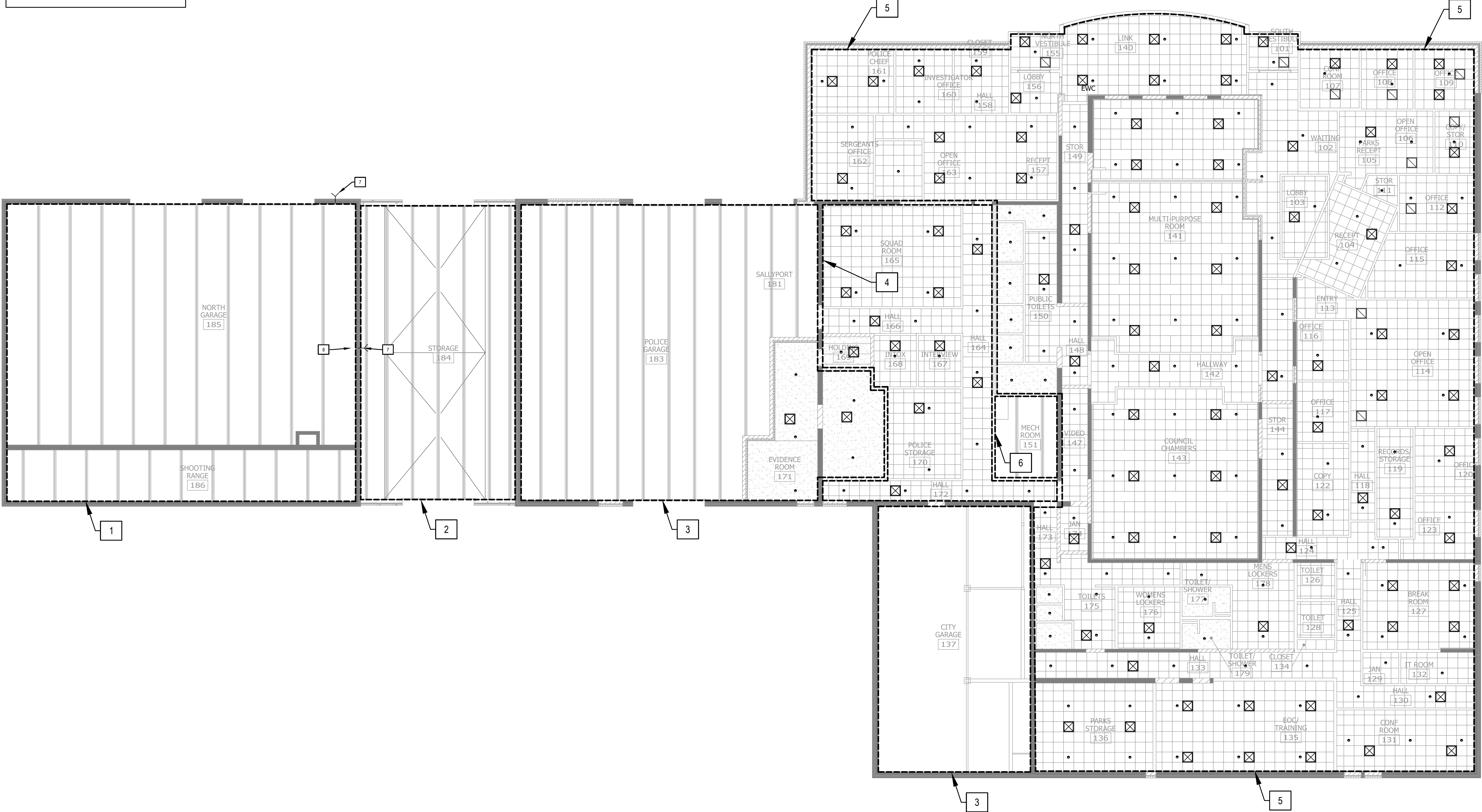
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 Project: 193806047  
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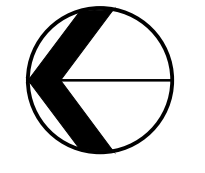
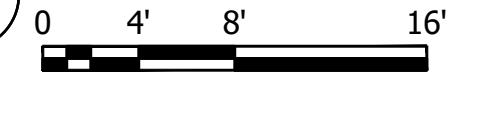
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**KEYED NOTES :**

- 1 EXISTING FIRE SPRINKLER SYSTEM TO REMAIN.
- 2 PROVIDE DRY PIPE SPRINKLER SYSTEM IN THE ENTIRE AREA INDICATED IN DASHED LINES, ORDINARY HAZARD GROUP-1
- 3 PROVIDE WET PIPE SPRINKLER SYSTEM IN THE ENTIRE AREA INDICATED IN DASHED LINES, ORDINARY HAZARD GROUP-1.
- 4 WET PIPE: TBD - PIPICE W/ HOLDING CELLS.
- 5 PROVIDE WET PIPE SPRINKLER SYSTEM IN THE ENTIRE AREA INDICATED IN DASHED LINES, LIGHT HAZARD.
- 6 PROVIDE WET PIPE SPRINKLER SYSTEM IN THE ENTIRE AREA INDICATED IN DASHED LINES, ORDINARY HAZARD GROUP-1.
- 7 RELOCATE FIRE DEPARTMENT CONNECTION TO EAST SIDE OF BUILDING.
- 8 EXISTING FIRE SPRINKLER RISER LOCATION.



1 FIRE PROTECTION OVERALL FLOOR PLAN



Plot Date: 09/07/2023 - 9:16am  
Project: 19385649-FP10.dwg  
User: J19385649-N114 - 19385649-R08

DESIGNED BY: JEROME L. REED  
CHECKED BY: JEROME L. REED  
DATE: SEPTEMBER 11, 2023 UC: PG: 00000

**CITY OF SPRING LAKE PARK, MINNESOTA**  
**CITY HALL RENOVATION/EXPANSION**  
**FIRE PROTECTION OVERALL FLOOR PLAN**

NO.	REVISION	DATE

SURVEY: \_\_\_\_\_  
DRAWN: NNG  
DESIGNED: NNG  
CHECKED: JLR  
APPROVED: \_\_\_\_\_  
PROJ. NO.: 19385649  
SHEET NUMBER: **FP101**

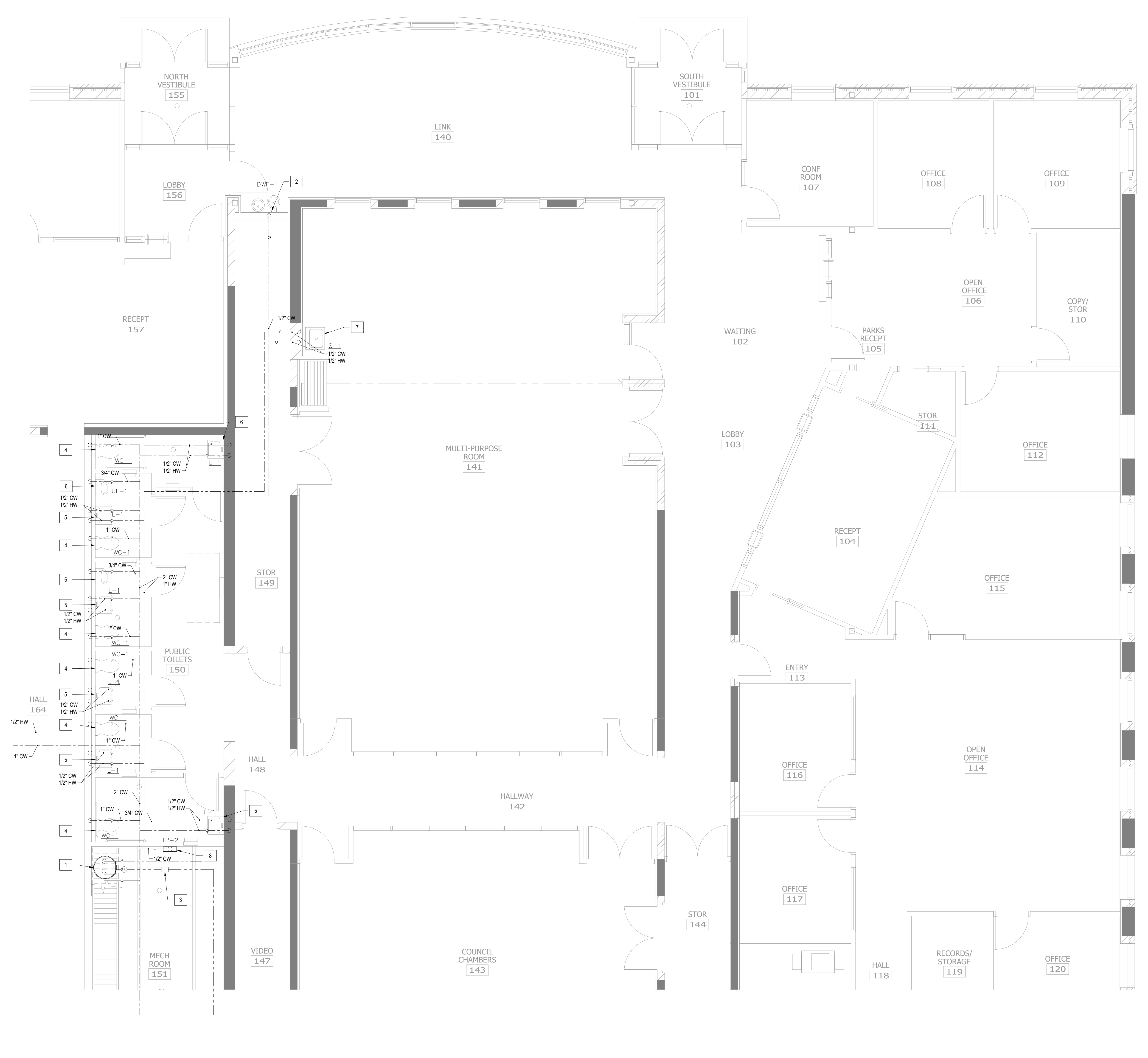




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### SHEET KEY NOTES

1. GAS FIRED WATER HEATER AS SCHEDULED. DROP 1" CW DOWN TO WATER HEATER. PROVIDE WITH EXPANSION TANK AND HOT WATER RECIRCULATING PUMP. REFER TO SCHEDULE FOR MORE INFORMATION. ALL INSTALLATION SHALL BE AS PER MANUFACTURER RECOMMENDATIONS. SEE DETAIL 9/P401.
2. HIGH-LOW FOUNTAIN "DWF-1" AS SPECIFIED. PROVIDE 1/2" CW DOWN TO HIGH-LOW FOUNTAIN "DWF-1". PROVIDE WITH SHUT-OFF VALVE.
3. BALANCE VALVE. SET TO 1.0 GPM.
4. WATER CLOSET "WC-1". PROVIDE ALL ASSOCIATED COMPONENTS AS SPECIFIED IN THE SCHEDULE. PROVIDE 3/4" CW DOWN TO WC-1.
5. LAVATORY "L-1". PROVIDE ALL ASSOCIATED SUPPLIES AS SPECIFIED IN THE SCHEDULE. PROVIDE 1/2" CW & 1/2" HW DOWN TO L-1.
6. URINAL "UL-1". PROVIDE ALL ASSOCIATED COMPONENTS AS SPECIFIED IN THE SCHEDULE. PROVIDE 3/4" CW DOWN TO UL-1.
7. SINK "S-1" AND ALL ASSOCIATED COMPONENTS AS SCHEDULED. PROVIDE 1/2" CW AND 1/2" HW DOWN TO SINK.
8. TRAP PRIMER "TP-X". 1/2" CW DOWN TO TRAP PRIMER "TP-X". ALL INSTALLATION SHALL BE AS PER MANUFACTURER RECOMMENDATIONS.
- 9.



**1** PARTIAL ENLARGED PLUMBING FLOOR PLAN-DOMESTIC WATER

DESIGNED BY: JEROME REED  
 DRAWN BY: JEROME REED  
 CHECKED BY: JEROME REED  
 APPROVED BY: JEROME REED  
 DATE: SEPTEMBER 11, 2023  
 LIC. NO.: 20262

CITY OF SPRING LAKE PARK, MINNESOTA  
 CITY HALL RENOVATION/EXPANSION  
 PARTIAL ENLARGED PLUMBING FLOOR PLAN-DOMESTIC WATER

NO	REVISION	DATE

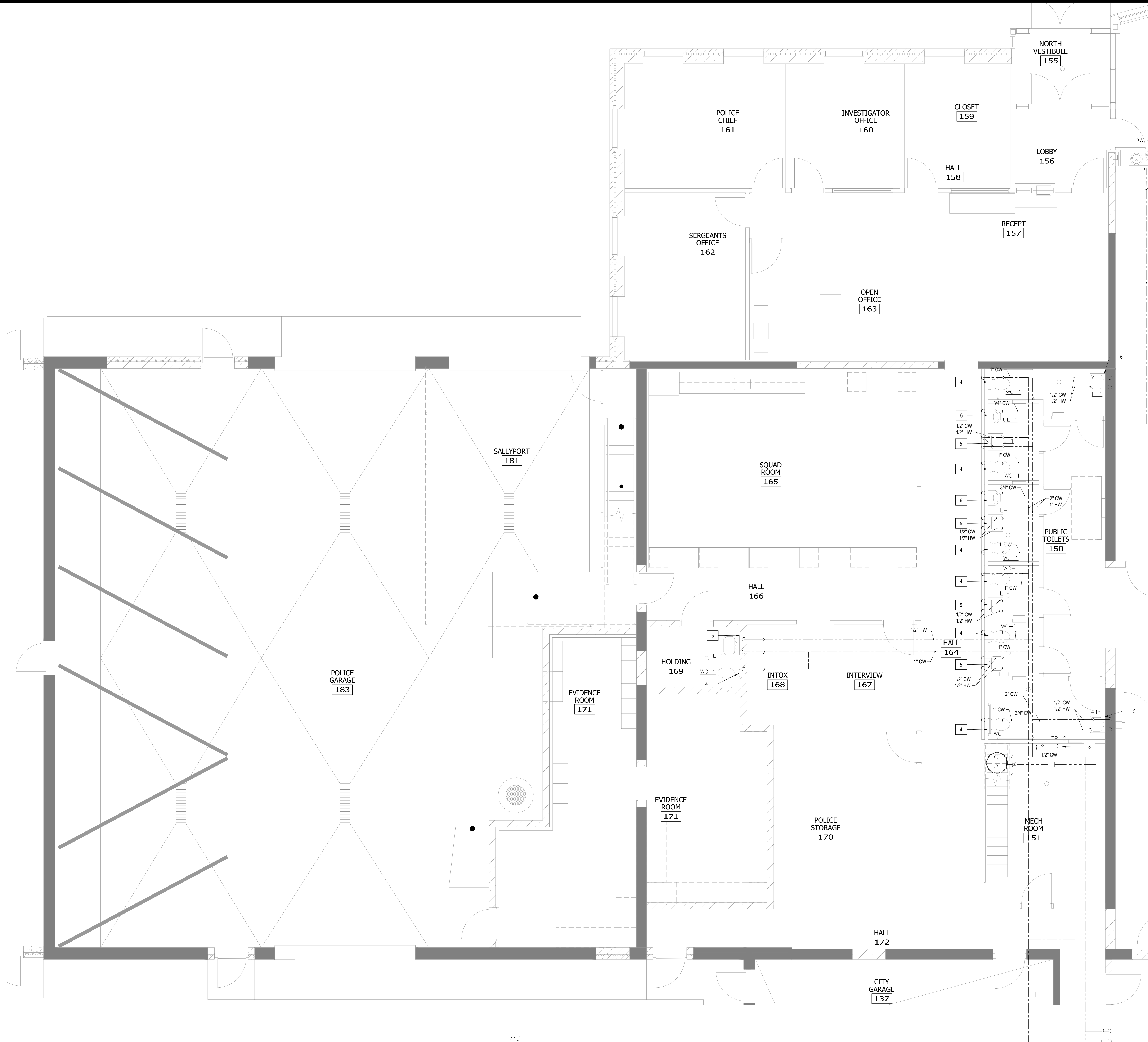
SURVEY	
DRAWN	NNG
DESIGNED	NNG
CHECKED	JJR
APPROVED	
PROJ. NO.	193806049
SHEET NUMBER	P201

Proj Name: 09/07/2023 - 924610  
 User: jreid  
 Project: City Hall Renovation/Expansion  
 Title: Plumbing Floor Plan - Domestic Water  
 Date: 09/07/2023 9:24 AM  
 Path: \\server\projects\193806049\193806049\_P201.dwg



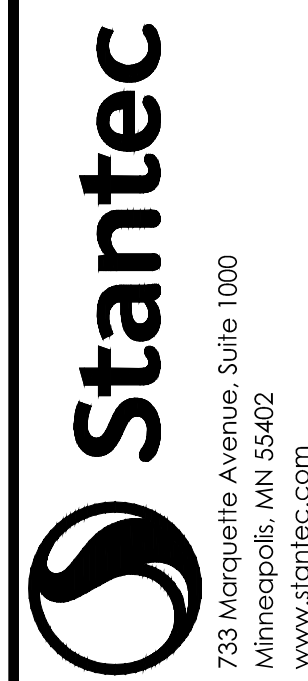
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DRAWINGS ARE THE PROPERTY OF STANTEC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Plot Date: 09/07/2025 9:27am  
 User: jrb@stntec.com  
 Project: 193806049\_P203.dwg  
 Xref: 193806049\_P1.dwg, 193806049\_P2.dwg, 193806049\_P3.dwg



**SHEET KEY NOTES**

1. GAS FIRED WATER HEATER AS SCHEDULED. DROP 1" CW DOWN TO WATER HEATER. PROVIDE WITH EXPANSION TANK AND HOT WATER RECIRCULATING PUMP. REFER TO SCHEDULE FOR MORE INFORMATION. ALL INSTALLATION SHALL BE AS PER MANUFACTURER RECOMMENDATIONS. SEE DETAIL 9/P401.
2. HIGH-LOW FOUNTAIN "DWF-1" AS SPECIFIED. PROVIDE 1/2" CW DOWN TO HIGH-LOW FOUNTAIN "DWF-1". PROVIDE WITH SHUT-OFF VALVE.
3. BALANCE VALVE. SET TO 1.0 GPM.
4. WATER CLOSET "WC-1". PROVIDE ALL ASSOCIATED COMPONENTS AS SPECIFIED IN THE SCHEDULE. PROVIDE 3/4" CW DOWN TO WC-1.
5. LAVATORY "L-1". PROVIDE ALL ASSOCIATED SUPPLIES AS SPECIFIED IN THE SCHEDULE. PROVIDE 1/2" CW & 1/2" HW DOWN TO L-1.
6. URNAL "UL-1". PROVIDE ALL ASSOCIATED COMPONENTS AS SPECIFIED IN THE SCHEDULE. PROVIDE 3/4" CW DOWN TO UL-1.
7. SINK "S-1" AND ALL ASSOCIATED COMPONENTS AS SCHEDULED. PROVIDE 1/2" CW AND 1/2" HW DOWN TO SINK.
8. TRAP PRIMER "TP-X". 1/2" CW DOWN TO TRAP PRIMER "TP-X". ALL INSTALLATION SHALL BE AS PER MANUFACTURER RECOMMENDATIONS.
- 9.



733 Marquette Avenue, Suite 1000  
 Minneapolis, MN 55402  
 www.stantec.com

DESIGNED BY: JEREMY REED  
 CHECKED BY: JEREMY REED  
 DATE: 08/28/2025  
 LIC. NO.: 38303

**CITY OF SPRING LAKE PARK, MINNESOTA**  
**CITY HALL RENOVATION/EXPANSION**  
 PARTIAL ENLARGED PLUMBING FLOOR PLAN - DOMESTIC WATER

NO.	REVISION	DATE

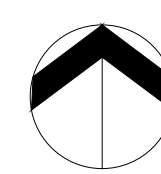
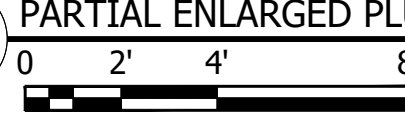
  

SURVEY	DRAWN	DESIGNED	CHECKED	APPROVED

PROJ. NO.	SHEET NUMBER
193806049	P203

**1 PARTIAL ENLARGED PLUMBING FLOOR PLAN - DOMESTIC WATER**



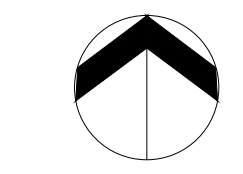


THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DRAWINGS ARE THE PROPERTY OF STANTEC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



- ### KEY NOTES
1. CONNECT NEW SANITARY WASTE TO EXISTING SANITARY WASTE. CONTRACTOR TO VERIFY EXACT LOCATION IN THE FIELD.
  2. 2" SAN, 2" V UP TO DW-1.
  3. 2" SAN, 2" V UP TO KITCHEN SINK 'S-1'.
  4. FLOOR DRAIN 'FD-1' PROVIDE 4" SAN, 3" V UP TO FD-1.
  5. 4" SAN, 3" V UP TO 'WC-1'.
  6. 2" SAN, 2" V UP TO 'L-1'.
  7. 3" SAN, 2" V UP TO 'UL-1'.
  8. DEMOLISH EXISTING FLAMMABLE WASTE TRAP TANK. DISCONNECT ALL CONNECTIONS AND CONNECT WITH NEW TANK LOCATED AT NEW LOCATION. REFER TO SHEET P303

1 PARTIAL ENLARGED PLUMBING FLOOR PLAN-SANITARY WASTE



Plot Date: 09/07/2023 9:57:28am  
 Project: 193806047 - City Hall Renovation/Expansion  
 Sheet: 193806047-N114 - Partial Enlarged Plumbing Floor Plan-Sanitary Waste  
 User: 193806047-P301.dwg

I hereby certify that I am a duly Licensed Professional Engineer in the State of Minnesota.  
 License No. 193806047  
 Signature: JEREMY REED  
 Date: 08/28/2023  
 Title: P.E.

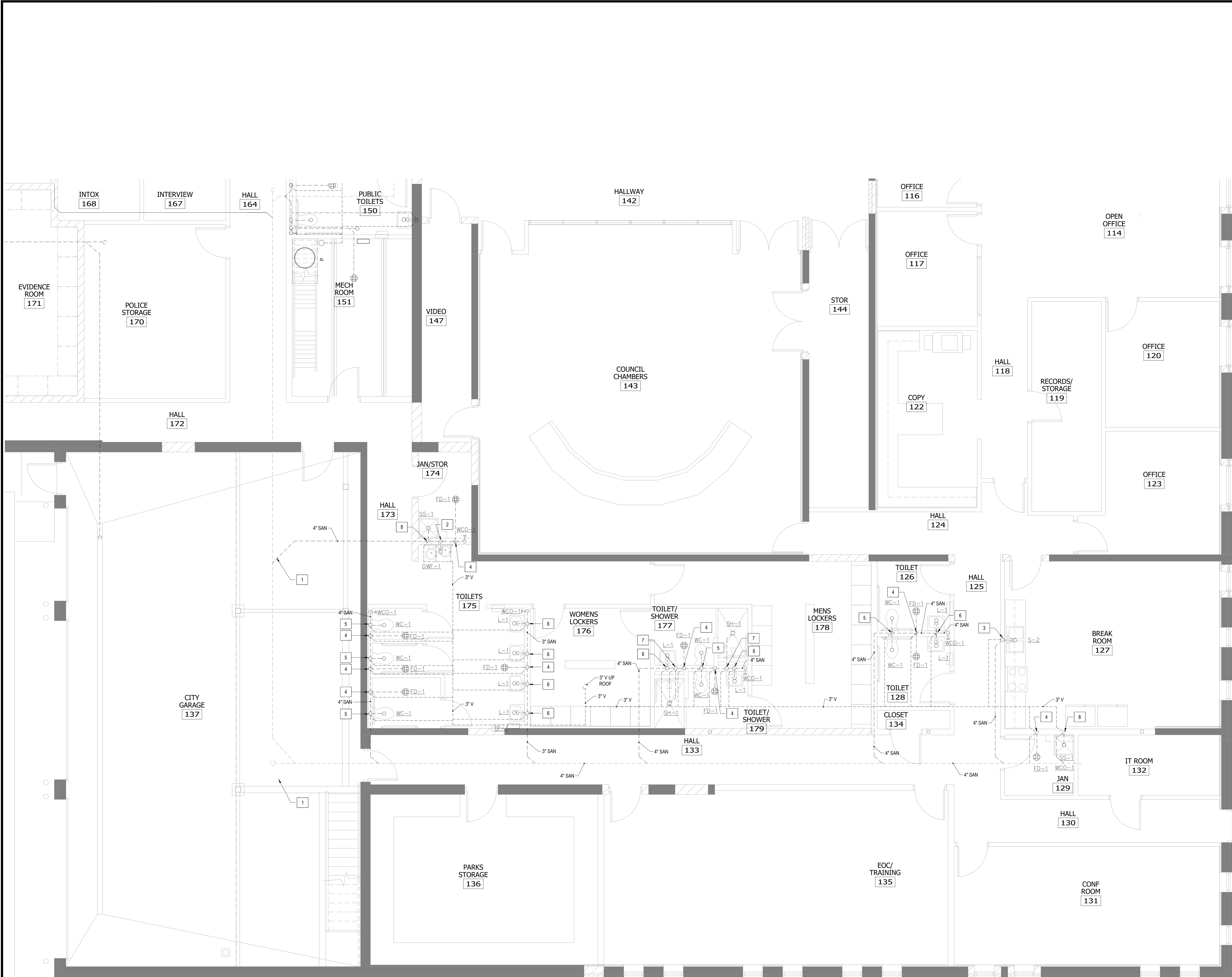
CITY OF SPRING LAKE PARK, MINNESOTA  
 CITY HALL RENOVATION/EXPANSION  
 PARTIAL ENLARGED PLUMBING FLOOR PLAN-SANITARY WASTE

NO.	REVISION	DATE

SURVEY	
DRAWN	NNG
DESIGNED	NNG
CHECKED	JLR
APPROVED	
PROJ. NO.	193806047
SHEET NUMBER	P301

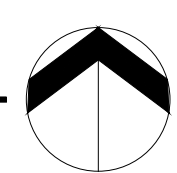
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### KEY NOTES

1. CONNECT NEW 4" SAN. TO EXISTING SAN. LINE. CONTRACTOR TO VERIFY EXACT LOCATION IN THE FIELD.
2. 2" SAN. 2" V UP TO DWF-1.
3. 2" SAN. 2" V UP TO KITCHEN SINK 'S-2'.
4. FLOOR DRAIN 'FD-1' PROVIDE 4" SAN. 3" V UP TO FD-1.
5. 4" SAN. 3" V UP TO 'WC-1'.
6. 2" SAN. 2" V UP TO 'L-1'.
7. 3" SAN. 2" V UP TO 'SH-1'.
8. 3" SAN. 2" V UP TO 'SS-1'.
- 9.

**1** PARTIAL ENLARGED PLUMBING FLOOR PLAN-SANITARY WASTE

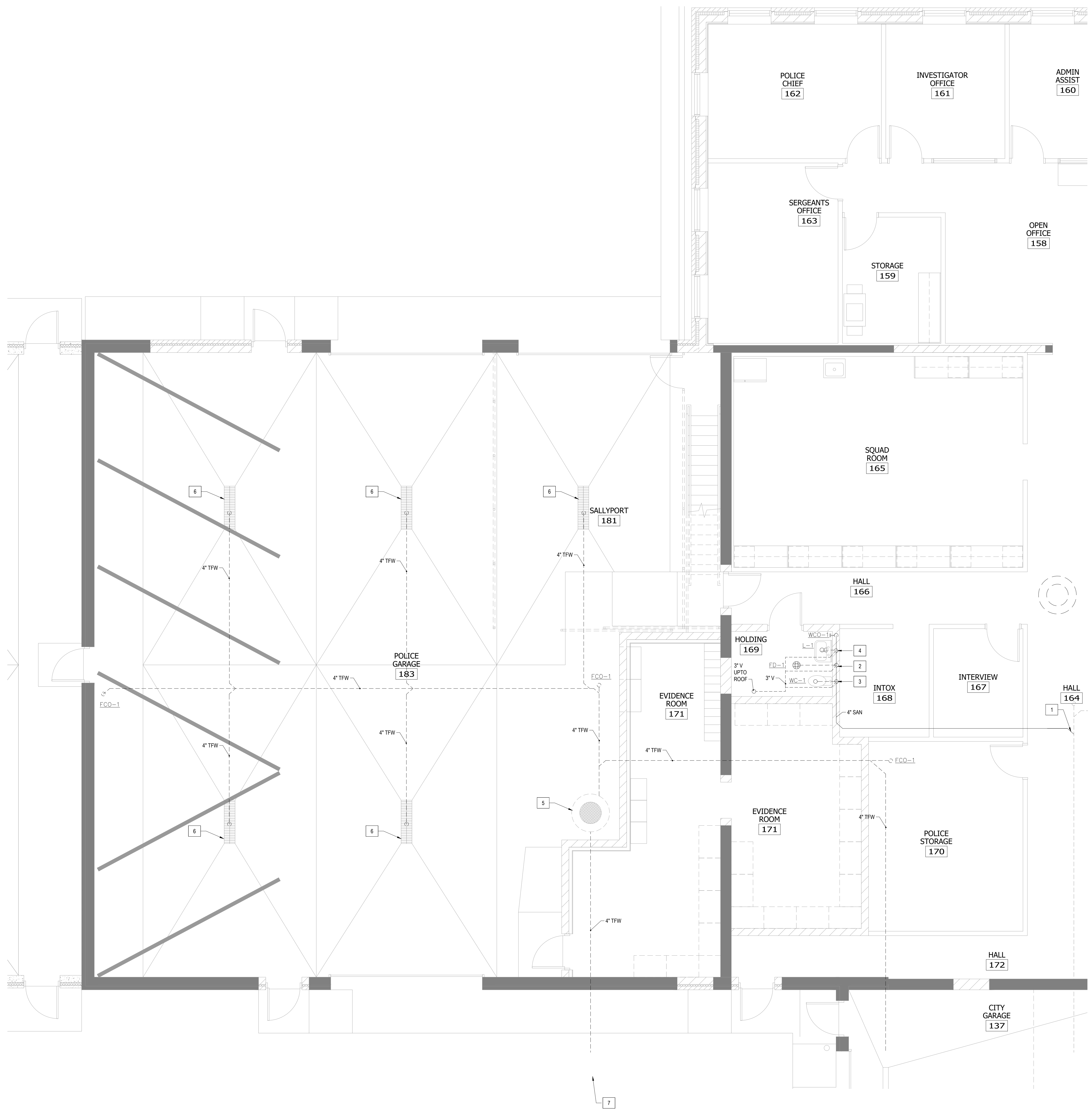


NO	REVISION	DATE
	SURVEY	
	DRAWN	NGG
	DESIGNED	NGG
	CHECKED	JRR
	APPROVED	
	PROJ. NO.	193806049
	SHEET NUMBER	P302

Plot Date: 09/07/2023 - 9:25am  
 Project: 193806049  
 Title: CITY HALL RENOVATION/EXPANSION  
 User: JRR

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PROJECT NO. 193806049  
 SHEET NO. 193806049-117  
 DATE: 09/07/2023 9:25am  
 DRAWN BY: jhines4  
 CHECKED BY: jhines4  
 DESIGNED BY: jhines4  
 SURVEYED BY: jhines4  
 APPROVED BY: jhines4  
 PROJECT NAME: CITY HALL RENOVATION/EXPANSION



KEY NOTES	
1.	CONNECT NEW SANITARY WASTE TO EXISTING SANITARY WASTE. CONTRACTOR TO VERIFY EXACT LOCATION IN THE FIELD.
2.	FLOOR DRAIN "FD-1" PROVIDE 4" SAN, 3" V UP TO FD-1.
3.	4" SAN, 3" V UP TO "WC-1".
4.	2" SAN, 2" V UP TO "L-1".
5.	INSTALL NEW FLAMMABLE WASTE TRAP AT LOCATION SHOWN.
6.	INSTALL NEW TRANCH DRAIN AS INDICATED. CONNECT WASTE LINE TO NEW FLAMMABLE WASTE TRAP.
7.	EXTEND UTILITIES TO 5'-0" BEYOND BUILDING FOUNDATION FOR CONNECTIONS BY OTHERS. COORDINATE LOCATIONS AND UNDERGROUND PIPING ELEVATIONS WITH CIVIL. REFER TO CIVIL SHEET ###.

**1 PARTIAL ENLARGED PLUMBING FLOOR PLAN-SANITARY WASTE**  
 0 2' 4' 8'

NO	REVISION	DATE

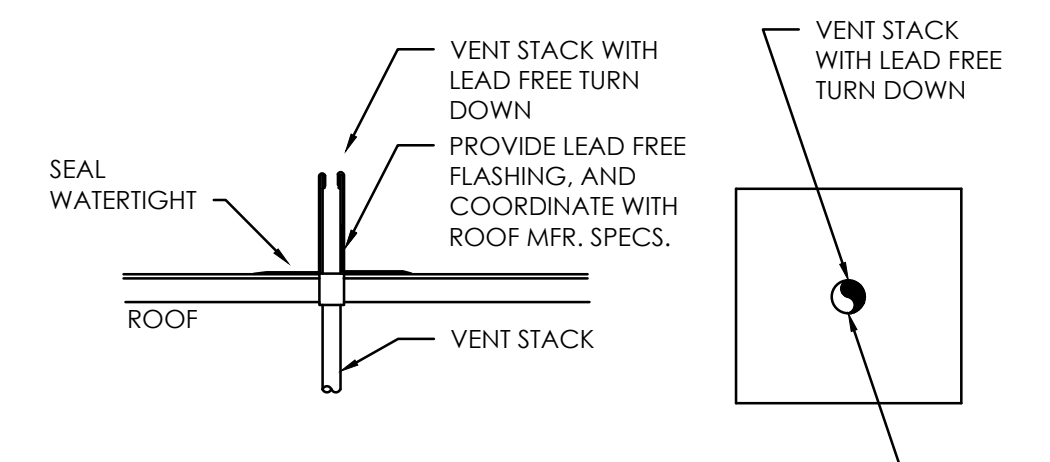
  

SURVEY	
DRAWN	NGG
DESIGNED	NGG
CHECKED	JJR
APPROVED	
PROJ. NO.	193806049
SHEET NUMBER	193806049-117
<b>P303</b>	

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DAMAGES ARE THE PROPERTY OF STANTEC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

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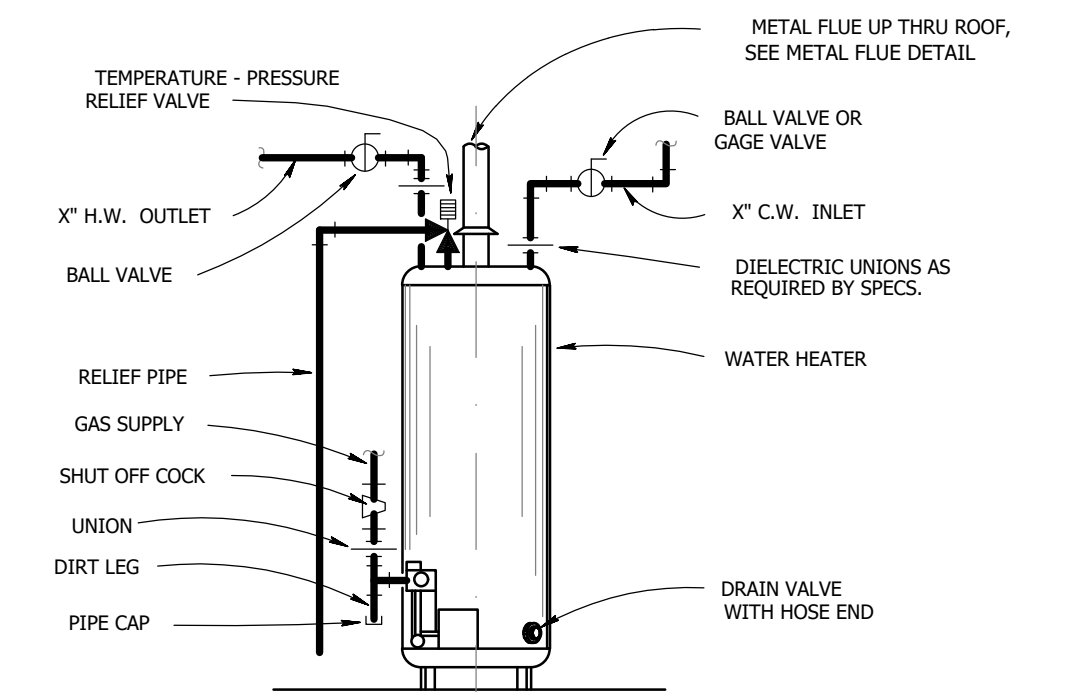
PROJECT: CITY HALL RENOVATION/EXPANSION  
 PRINT NAME: JESSICA BEED  
 SCHEDULE:  
 DATE: SEPTEMBER 11, 2023, 10:00 AM  
 UC: 100, 10000



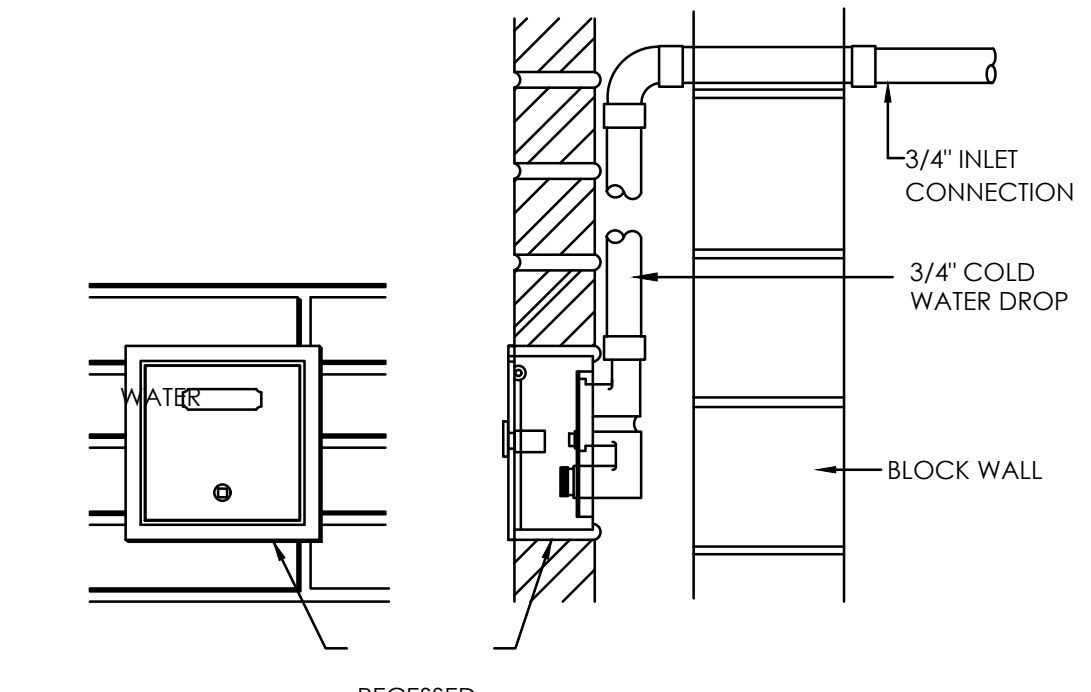
COORDINATE LOCATION OF VENT THROUGH ROOF TO BE A MINIMUM OF 10'-0" FROM ANY OUTSIDE AIR INTAKES OR BLDG OPENINGS.

- NOTES:
1. CONTRACTOR MAY PROVIDE A PRE-FABRICATED VENT STACK AS AN APPROVED EQUAL.
  2. SEAL PENETRATION THROUGH ROOF WATERTIGHT.

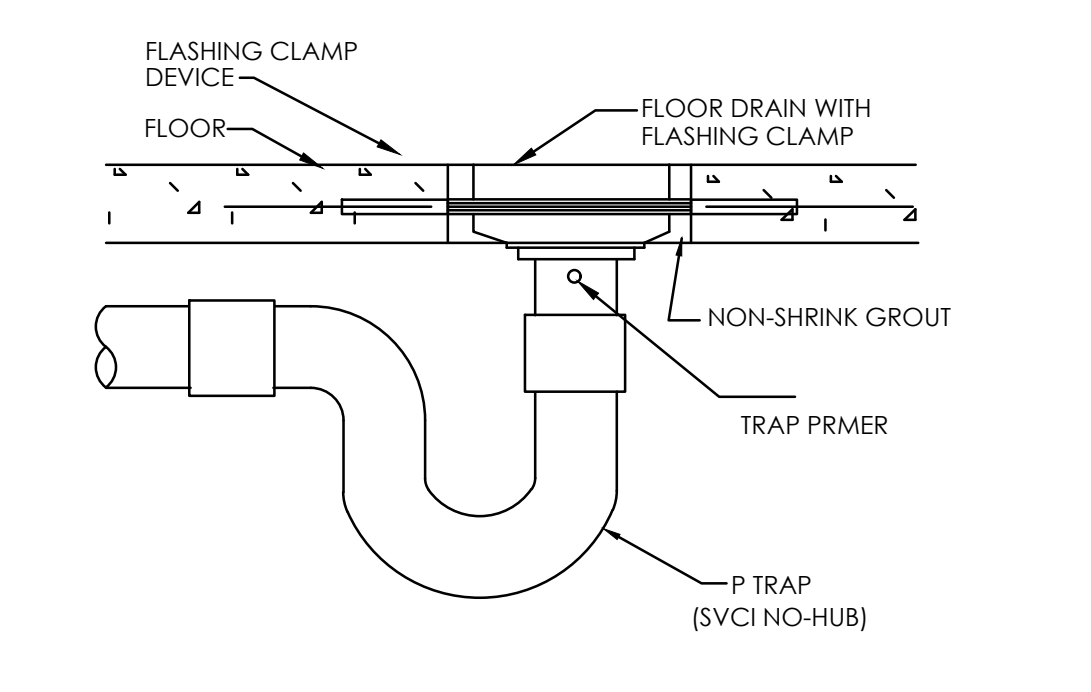
**10** TYP. STACK VENT  
 P401 N.T.S.



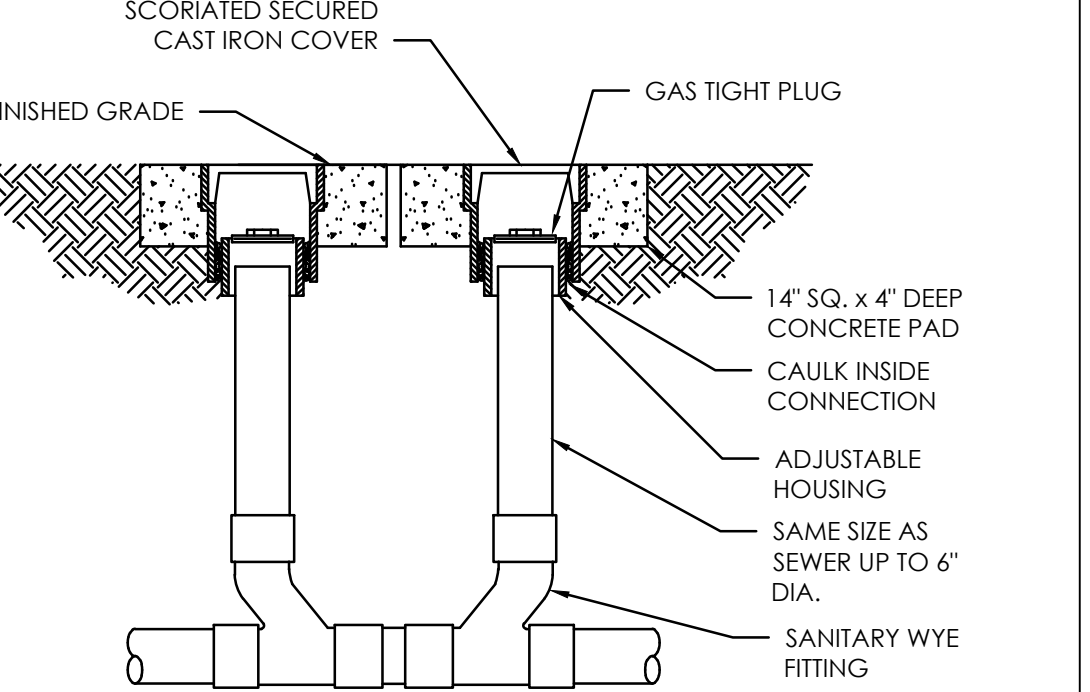
**9** GAS WATER HEATER  
 P401 N.T.S.



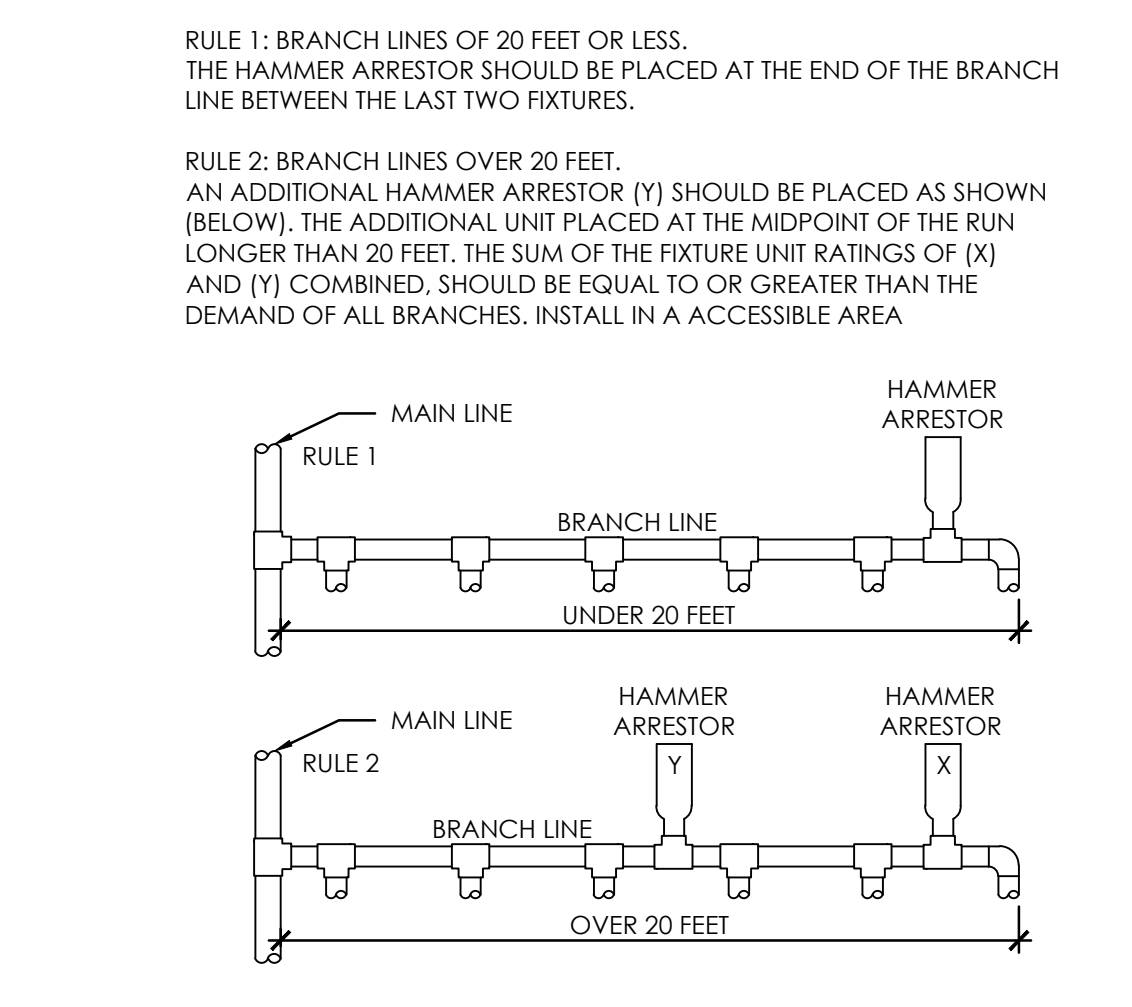
**8** TYP. EXTERIOR WALL HYDRANT  
 P401 N.T.S.



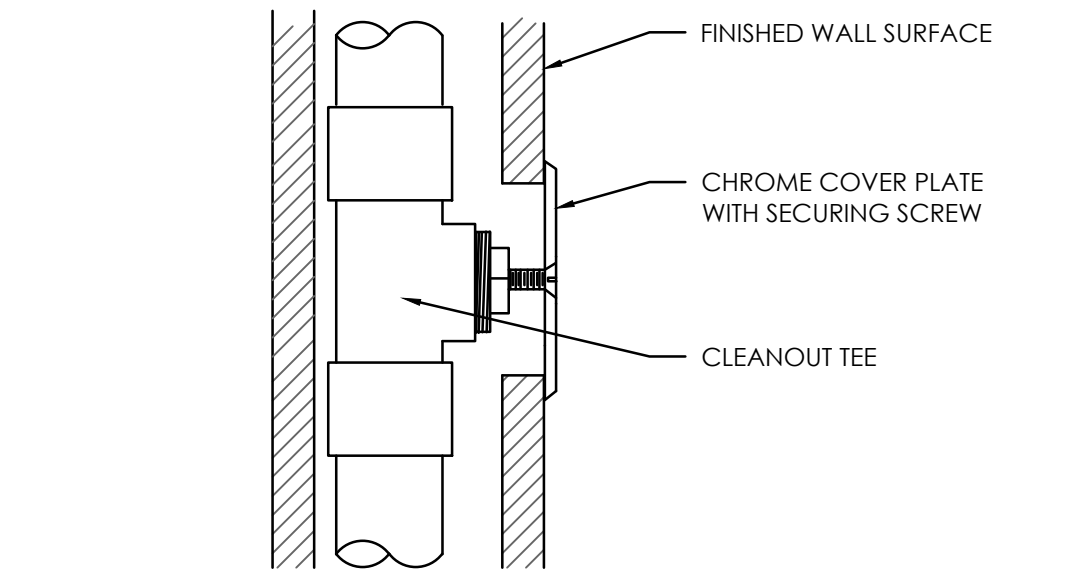
**7** TYP. FLOOR DRAIN  
 P401 N.T.S.



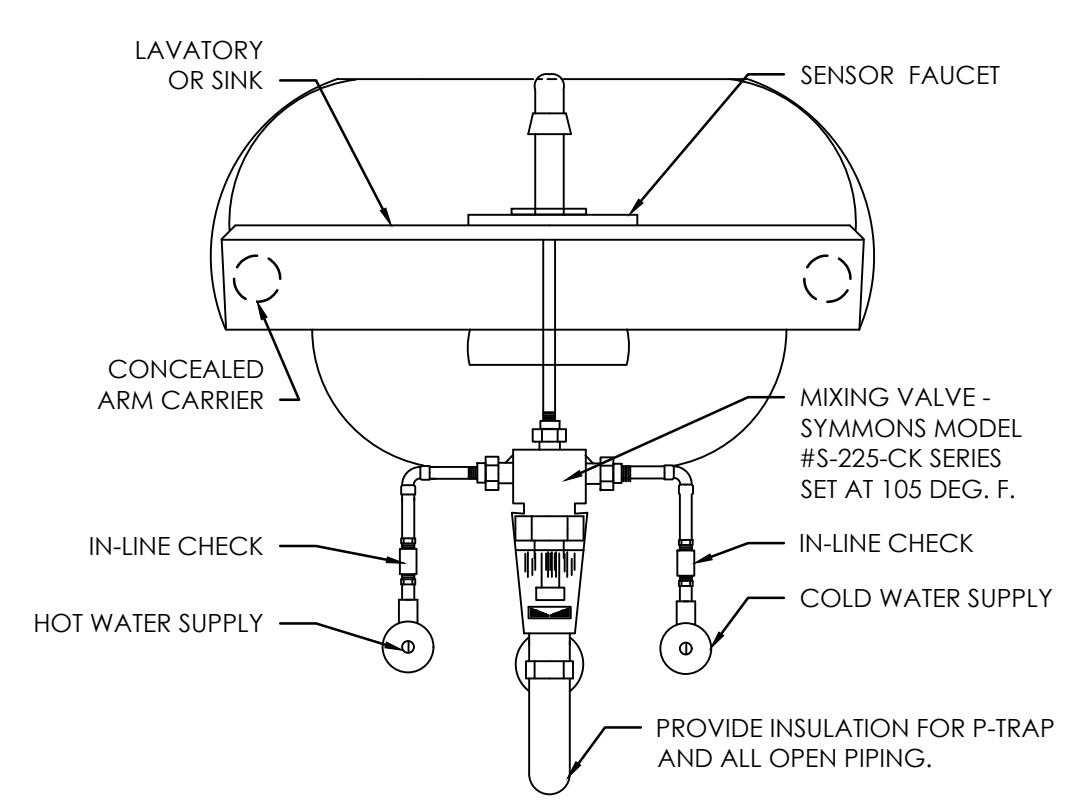
**6** TYP. GRADE CLEANOUT  
 P401 N.T.S.



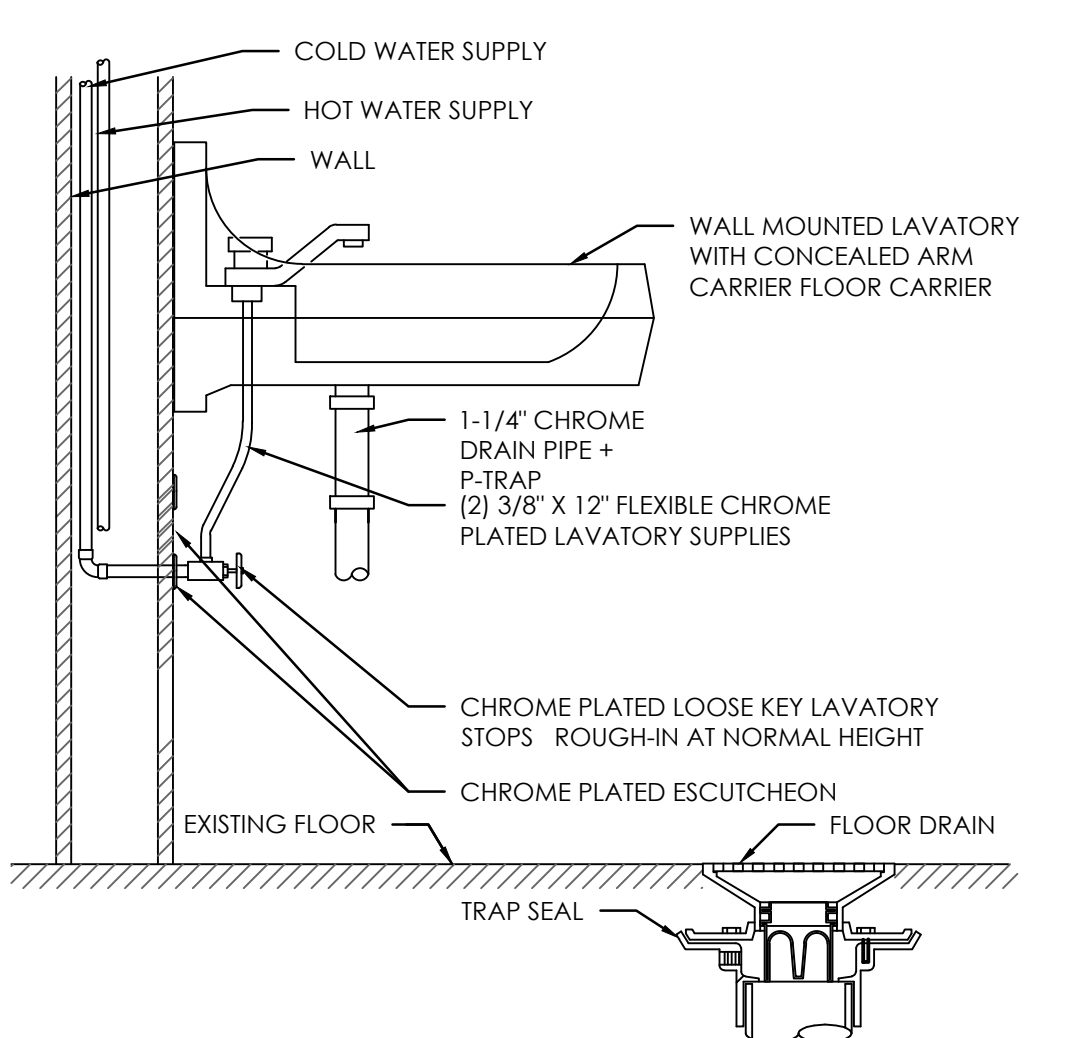
**5** TYP. WATER HAMMER ARRESTOR  
 P401 N.T.S.



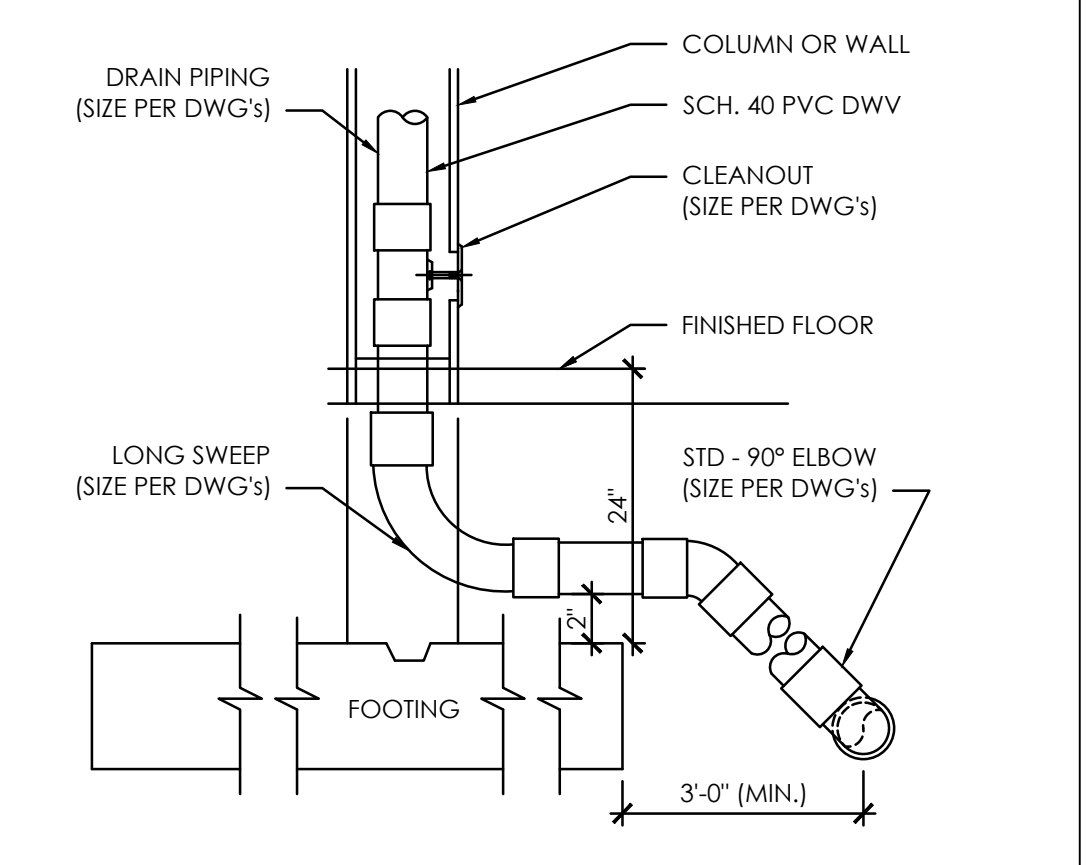
**4** TYP. WALL CLEANOUT  
 P401 N.T.S.



**3** TYP. FIXTURE MIXING VALVE  
 P401 N.T.S.



**2** TYP. TRAP SEAL  
 P401 N.T.S.



**1** TYP. DRAINAGE PIPING  
 P401 N.T.S.

NO	REVISION	DATE

SURVEY  
 DRAWN NNG  
 DESIGNED NNG  
 CHECKED JLK  
 APPROVED  
 PROJ. NO. 193806049  
 SHEET NUMBER  
**P501**

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Schedule Index

TAG	DESCRIPTION	CONNECTION SIZE				DFU(709.1)	QTY	TOTAL	COMPONENT	MANUFACTURER	MODEL	FINISH	NOTES
		COLD WATER	HOT WATER	WASTE	VENT								
WC-1	FLOOR-MOUNT WATER CLOSET	1/2"	-	4"	2"	4	14	56	WATER CLOSET OPEN FRONT SEAT SUPPLY	AMERICAN STANDARD AMERICAN STANDARD AMERICAN STANDARD	2333.100.	WHITE/CHROME WHITE POL.CHROME	FLOOR MOUNTED, CADET, ELONGATED, PRESSURE ASSIST 1.6 GPF WATER CLOSET  LOOSE KEY STOP
L-1	WALL- MOUNT LAVATORY	1/2"	1/2"	2"	2"	1	15	15	LAVATORY STAINER P-TRAP FAUCET SUPPLIES LAV GUARD SOAP DESPENSOR	AMERICAN STANDARD AMERICAN STANDARD AMERICAN STANDARD	0355.012 LUCERNE 2411.015 6059.105.002	WHITE POL.CHROME POL.CHROME POL.CHROME	COORD. MODEL NUMBER TO POSITION SOAP DISPENSER AT WALL-SIDE OF LAV.  WITH ESCUTCHEON AND CLEANOUT ELECTRONIC SINGLE HOLE BATHROOM FAUCET WITH - AC HARDWIRED TRANSFORMER POL. CHROME FLEX TUBE SUPPLIES AND VALVES COVER TAILPIECE, P-TRAP, SUPPLIES AND VALVES
S-1	LOUNGE SINK	1/2"	1/2"	2"	2"	2	1	2	SINGLE BOWL STAINER P-TRAP FAUCET SUPPLIES	ELKAY - - CHICAGO FAUCETS	#VALUE! - - 1100-317ABCP	STAINLESS STEEL STAINLESS STEEL POL.CHROME -	- - - 8" SWING SPOUT, 4 INCH WRISTBLADE HANDLES, E3 2.2 GPM AERATOR 3/8" FLEX HOSE SUPPLIES AND POL.CHROME KEY STOPS
S-2	LOUNGE SINK	1/2"	1/2"	2"	2"	2	1	2	DOUBLE BOWL STAINER P-TRAP FAUCET SUPPLIES	ELKAY - - CHICAGO FAUCETS	LRAD332155. - - 1100-317ABCP	STAINLESS STEEL STAINLESS STEEL POL.CHROME -	- - - 8" SWING SPOUT, 4 INCH WRISTBLADE HANDLES, E3 2.2 GPM AERATOR 3/8" FLEX HOSE SUPPLIES AND POL.CHROME KEY STOPS
SS-1	MOP SINK	1/2"	1/2"	3"	2"	2	2	4	FLOORSINK FAUCET HOSE AND BRACKET MOP HANGER	MUSTEE MUSTEE MUSTEE MUSTEE	63M 63.600A 65.700 65.600	WHITE CHROME STAINLESS STEEL STAINLESS STEEL	- - - WITH INTEGRAL VACCUUM BREAKERS SHORTEN HOSE TO PROVIDE AIR GAP -
SH-1	SHOWER HEAD	1/2"	1/2"	3"	2"	2	2	4	-	KOHLER	FORTE K-10240	STAINLESS STEEL	KOHLER RITE-TEMP K-305 WITH PRESSURE BALANCED THERMOSTATIC MIXING
DWF-1	DRINKING FOUNTAIN	1/2"	-	2"	2"	0.5	2	1	-	ELKAY	EZSTL8WSSK	STAINLESS STEEL	WITH BOTTLE FILTER. COORDINATE W/ELECTRICAL
HB-1	WALL HOSE BIB	3/4"	-	-	-	-	-	0	-	WOODFORD	B65	CHROME	18" ABOVE GRADE
TP-1	TRAP PRIMER	1/2"	-	-	-	-	-	0	-	MIFAB	M1-100-10	-	ELECTRONIC TRAP PRIMER 120/1PH TO ALL FLOOR DRAIN UNLESS OTHERWISE NOTED
TP-2	TRAP PRIMER	1/2"	-	-	-	-	-	0	-	MIFAB	M1-100-15	-	ELECTRONIC TRAP PRIMER 120/1PH TO ALL FLOOR DRAIN UNLESS OTHERWISE NOTED
FD-1	FLOOR DRAIN	-	-	3"	2"	-	-	0	-	ZURN	-	STAINLESS STEEL	TRAP PRIMER CONNECTION TO ALL FLOOR DRAINS UNLESS OTHERWISE NOTED
FCO-1	FLOOR CLEANOUT	-	-	SEE PLANS	SEE PLANS	-	-	0	-	ZURN	ZS1400	STAINLESS STEEL	-
WCO-1	WALL CLEAN-OUT	-	-	SEE PLANS	SEE PLANS	-	-	0	-	ZURN	Z1441	STAINLESS STEEL	-

Plot Date: 09/07/2025 - 10:01 am  
 User: T:\388649\388649.dwg  
 Project: T:\388649\388649.dwg



I hereby certify that I am a duly Licensed Professional Engineer in the State of Minnesota and that I am a duly Licensed Professional Engineer in the State of Minnesota.  
 PRINT NAME: JEREMY REED  
 SIGNATURE: \_\_\_\_\_  
 DATE: SEPTEMBER 11, 2025 UC: PLS 2025

CITY OF SPRING LAKE PARK, MINNESOTA  
 CITY HALL RENOVATION/EXPANSION  
 PLUMBING SCHEDULES

NO REVISION DATE  
 SURVEY  
 DRAWN NNG  
 DESIGNED NNG  
 CHECKED JR  
 APPROVED  
 PROJ. NO. 193806049  
 SHEET NUMBER  
**P401**

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SHALL BE TO UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SHALL BE TO UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SHALL BE TO UNLESS OTHERWISE NOTED.

LEGEND OF SYMBOLS

(SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT)

Legend of symbols table with columns for symbols and descriptions. Includes equipment mark types, section indicators, key note indicators, revision indicators, diffusers, duct dimensions, supply/return air symbols, valves, dampers, and sensors.

PROJECT GENERAL NOTES

- 1. INTENT OF THE DRAWINGS AND SPECIFICATIONS ARE TO PROVIDE A COMPLETE HEATING, VENTILATION AND AIR CONDITIONING SYSTEM FOR THE PROPOSED PROJECT. THE SYSTEMS PROVIDED SHALL CONFORM TO THE DETAILS STATED IN THE SPECIFICATIONS AND SHOWN ON THE DRAWINGS. ITEMS OR WORK NOT SHOWN OR SPECIFIED, BUT REQUIRED FOR A COMPLETE HEATING, VENTILATION AND AIR CONDITIONING SYSTEM, SHALL BE PROVIDED AND SHALL CONFORM WITH ACCEPTED TRADE PRACTICES, LOCAL CODES, AND GOVERNING AUTHORITIES.

HVAC SYSTEM DESIGN CRITERIA

HVAC SYSTEMS DESCRIPTION table with columns for Design Conditions (Summer: 92.0 Degrees F Dry Bulb, 74.0 Degrees F Wet Bulb; Winter: -6 Degrees F).

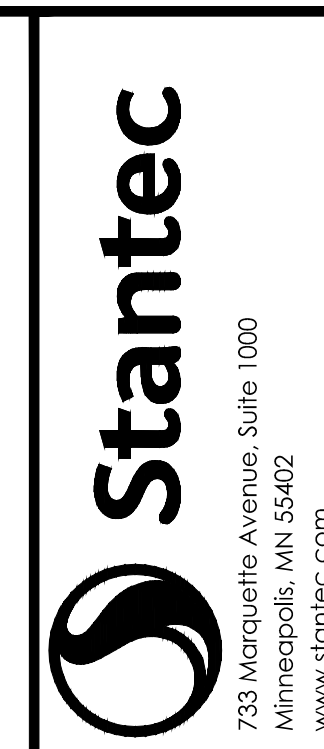
LIST OF DRAWINGS

List of drawings table with columns for drawing number and description. Includes M001 (MECHANICAL GENERAL NOTES LEGEND, SYMBOLS & ABBREVIATIONS), M201 (MEZZANINE MECHANICAL FLOOR PLAN - OVERALL), M301 (MECHANICAL FLOOR PLAN - OVERALL), M401 (MECHANICAL FLOOR PLAN - ENLARGE), M402 (MECHANICAL FLOOR PLAN - ENLARGE), M403 (MECHANICAL FLOOR PLAN - ENLARGE), M404 (MECHANICAL FLOOR PLAN - ENLARGE), M501 (MECHANICAL SCHEDULES), M501 (MECHANICAL SCHEDULES), M601 (MECHANICAL DETAILS - 1 OF 2), M602 (MECHANICAL DETAILS - 2 OF 2).

ABBREVIATIONS

(SOME ABBREVIATIONS MAY NOT BE USED ON THIS PROJECT)

Large abbreviations table with columns for abbreviations and their full names. Includes terms like ABOVE AIR CONDITIONING, ACCESS DOOR, ABOVE FINISHED FLOOR, AIR HANDLING UNIT, ALTERNATE, ALUMINUM, ARCHITECTURAL, AUTOMATIC TEMPERATURE CONTROL, BALL DRIP, BRAKE HORSEPOWER, BRANCH LINE, BUILDING, BOTTOM, BRITISH THERMAL UNITS/HOUR, CAPACITY, CONSTANT AIR VOLUME, COOLING COIL, CUBIC FEET/MINUTE, CHURNING HEATER, CEILING, COOLER, CROSS MAN, CLEANOUT, COLUMN, COMBINATION, CONCRETE, CONDENSATE, CONDENSER, CONNECTION, CONSTRUCTION, CONTINUOUS, CONVECTOR, COOLING TOWER, CONDENSING UNIT, CITY WATER, DRYBULB TEMPERATURE (DEG. F), DECIBEL, DIRECT DIGITAL CONTROL, DETAIL, DIAMETER, DIMENSION, DISCHARGE, DOWN, DITTO, DAMPER, DRAWING, DOMESTIC WATER HEATER, ENTERING AIR TEMPERATURE (DEG. F), EXHAUST FAN, ELECTRICAL, ELECTRICAL CONTRACTOR, ELEVATOR, EMERGENCY GENERATOR, ENCLOSURE, EQUIPMENT, EXTERNAL STATIC PRESSURE, EVAPORATOR, ENTERING WATER TEMPERATURE (DEG. F), EXHAUST, EXHAUST AIR, EXISTING, EXPANSION, EXPANSION LOOP, FAHRENHEIT, FLANGE AND SPIGOT, FRESH AIR INLET, FAN COIL, FIRE SMOKE DAMPER, FINAL FILTER, FINISH, FIXTURE, FLASHING, FLEXIBLE, FLOOR, FOUNDATION, FIRE PROTECTION, FEET PER MINUTE, FEET PER SECOND, FINNED TUBE, FEET OF WATER GAUGE, FOOT (FEET), FOOTING, FORCED WASTE, GAUGE, GALLONS, GALV, GALLONS PER HOUR, GALLONS PER MINUTE, HEIGHT, HAND-OFF-AUTOMATIC, HORIZONTAL, HORSEPOWER, HIGH POINT, HUMIDISTAT, HEATING, HV, HIGH VOLTAGE, HEAT EXCHANGER, HYDRAULIC, INSIDE DIAMETER, INCHES OF WATER GAUGE, INSULATION, INVERT, INSPECTOR'S TEST CONNECTION, INTR, JANITOR CLOSET, JANITOR SINK, JOINT, KILLOWATT, KILLOWATT HOUR, LEAVING AIR TEMPERATURE, LINEAL FOOT, LIGHTING, LOW VOLTAGE, LOUVER, LEAVING WATER TEMPERATURE, MIXED AIR, THOUSANDS OF BTU/HOUR, MECHANICAL CONTRACTOR, MECHANICAL EQUIPMENT ROOM, MANUFACTURER, MANHOLE, MILLIONS OF BTU/HOUR, MOUNTED, MOUNTING, METAL, NOT APPLICABLE, NORMALLY CLOSED, NOT IN CONTRACT, NORMALLY OPEN, NOMINAL, NOT TO SCALE, OUTDOOR AIR, OUTDOOR AIR INTAKE, OUTDOOR AIR TEMPERATURE ON CENTER, OUTSIDE DIAMETER, OPENING, OPEN END RETURN, PRESSURE DIFFERENTIAL, PREFILTER, PENTHOUSE, PREHEAT COIL, PLUMBING, PRESSURE, POUNDS PER SQUARE INCH, POUNDS PER SQUARE INCH ABSOLUTE, POUNDS PER SQUARE INCH GAUGE, RETURN AIR, RETURN AIR TEMPERATURE, REVISION, RELATIVE HUMIDITY, REHEAT COIL, RADIO ISOTOPE HOOD, ROOM, REVOLUTIONS PER MINUTE, SOUND ATTENUATOR, SUPPLY AIR, SUPPLY AIR TEMPERATURE, SCHEDULE, SECTION, SQUARE FOOT, SIMILAR, SHEET METAL, STARWELL PRESSURIZATION AIR, SPECIFICATION, STEEL, STORAGE, STRAINER, STRUCTURAL, SUSPENDED, SWITCH, TEMPERATURE DIFFERENTIAL, TEMPERATURE, THICK, TAMPERPROOF SWITCH, TOILET EXHAUST, TOTAL STATIC PRESSURE, THERMOSTAT, TRANSFER AIR, UNIT HEATER, UNIT VENTILATOR, VARIABLE AIR VOLUME, VERTICAL, VIBRATION ISOLATOR, VOLUME, VENT THROUGH ROOF, WIDE FLANGE, WEIGHT, TRANSFORMER.



733 Marquette Avenue, Suite 1000  
Minneapolis, MN 55402  
www.stantec.com  
DATE: 11/28/2023  
JOB NO.: 193864047

CITY OF SPRING LAKE PARK, MINNESOTA  
CITY HALL RENOVATION/EXPANSION  
MECHANICAL GENERAL NOTES, SYMBOLS AND ABBREVIATIONS

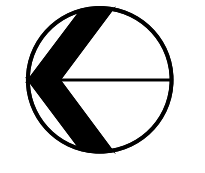
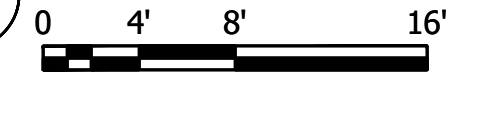
CITY OF SPRING LAKE PARK, MINNESOTA  
CITY HALL RENOVATION/EXPANSION  
MECHANICAL GENERAL NOTES, SYMBOLS AND ABBREVIATIONS

Revision table with columns for revision number, description, date, and drawn by. Includes a table with one row: 1, SURVEY, 11/28/2023, NNG.

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1 MECHANICAL FLOOR PLAN - OVERALL



Plot Date: 09/07/2023 - 10:04am  
 XREF: T:\3380358\X11A\_193806049.dwg  
 C:\3380358\X11A\_193806049.dwg  
 User: jrb  
 Project: 193806049

DESIGNED BY: JRB  
 DRAWN BY: JRB  
 CHECKED BY: JRB  
 APPROVED BY: JRB  
 PROJECT NO.: 193806049  
 SHEET NO.: M101

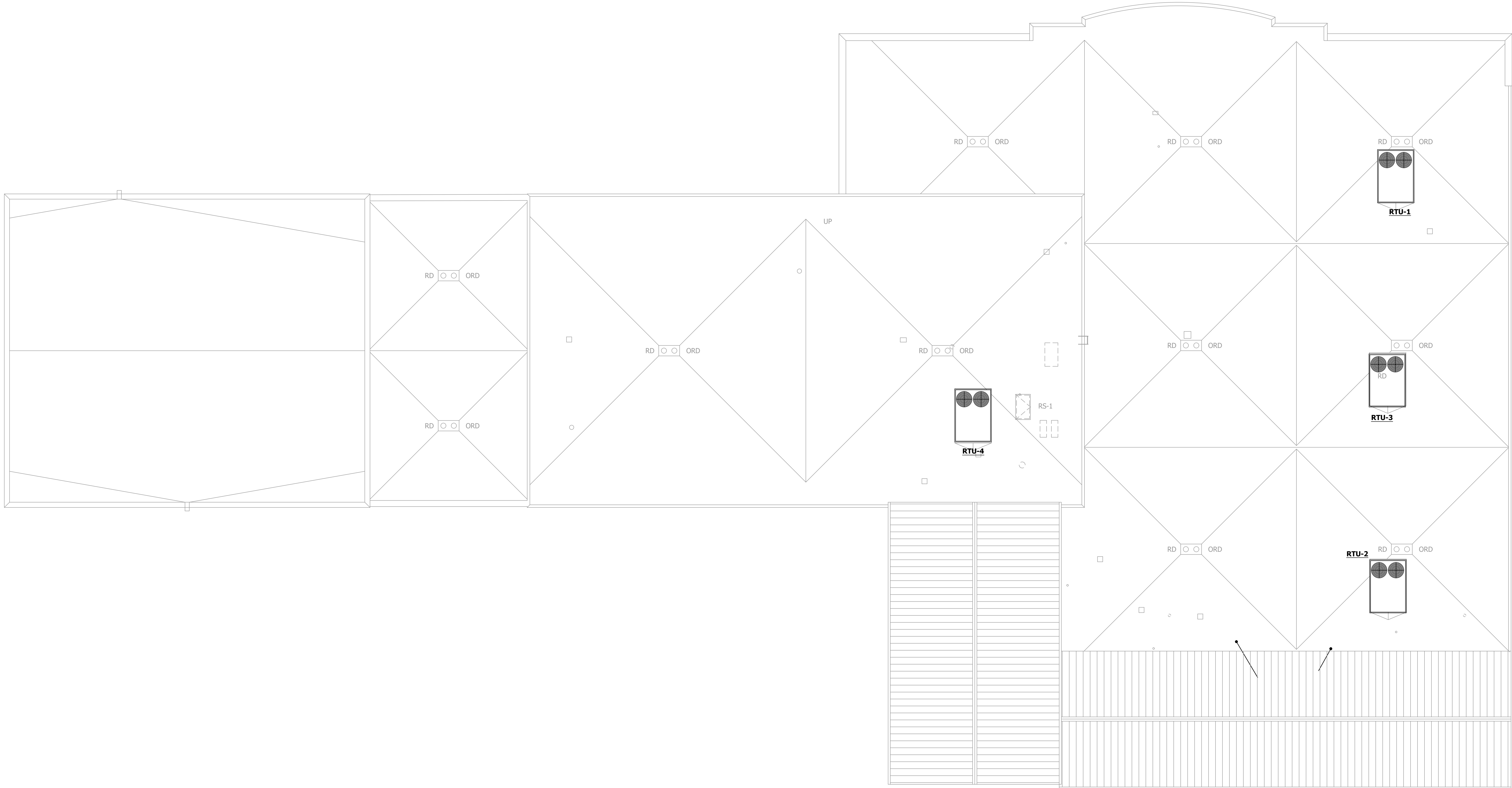
CITY OF SPRING LAKE PARK, MINNESOTA  
 CITY HALL RENOVATION/EXPANSION  
 MECHANICAL FLOOR PLAN - OVERALL

NO.	REVISION	DATE

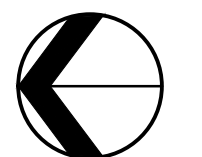
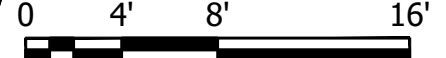
SURVEY: NNG  
 DRAWN: NNG  
 DESIGNED: NNG  
 CHECKED: JRB  
 APPROVED: JRB

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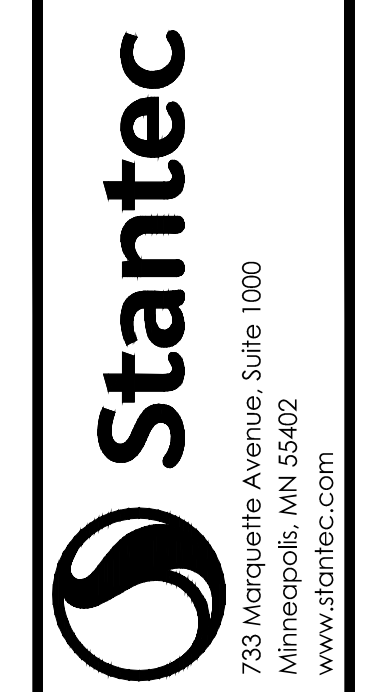
File Path: 09/07/2023 10:00am  
User: JEREMY@STANTEC.COM  
Project: 19380649-102.dwg  
Scale: 1/8" = 1'-0" (AS SHOWN)



1 RENOVATED/EXPANDED MECHANICAL ROOF PLAN



I hereby certify that I am a duly licensed professional engineer in the State of Minnesota.  
 AND THAT I AM A DULY LICENSED ENGINEER.  
 PROJECT NO. 19380649-102  
 DRAWING NO. MECHANICAL ROOF PLAN  
 DATE: 09/07/2023  
 SIGNATURE: JEREMY@STANTEC.COM  
 LICENSE NO.: 000000



CITY OF SPRING LAKE PARK, MINNESOTA  
 CITY HALL RENOVATION/EXPANSION  
 MECHANICAL ROOF PLAN

NO.	REVISION	DATE

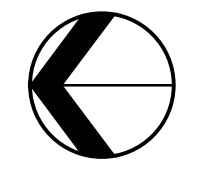
SURVEY	
DRAWN	
DESIGNED	
CHECKED	
APPROVED	
PROJ. NO.	19380649
SHEET NUMBER	M102



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**1** MEZZANINE MECHANICAL FLOOR PLAN  
 0' 4' 8' 16'

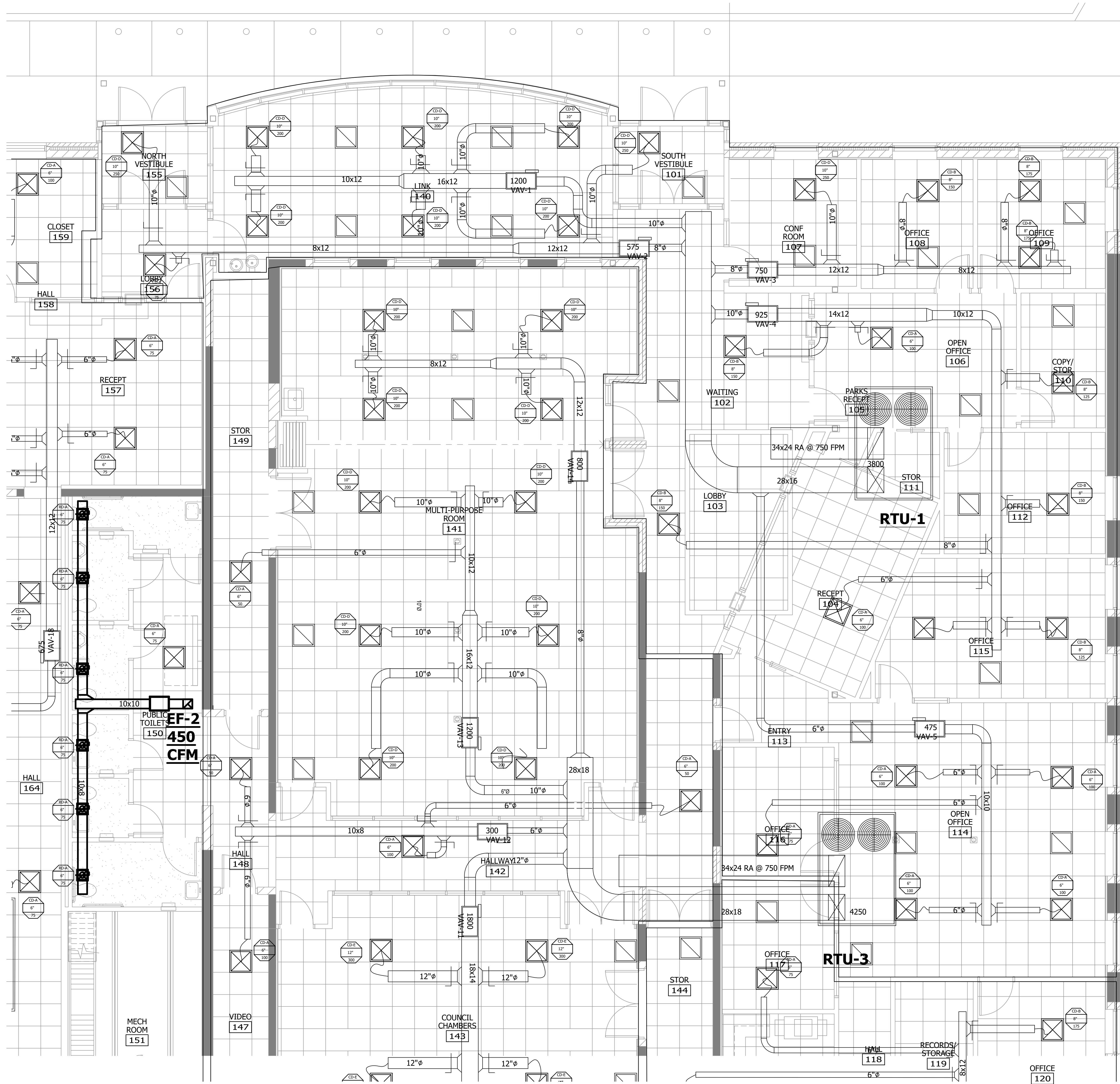


Proj Date: 09/07/2023 11:09am  
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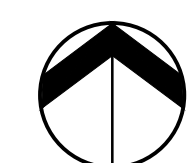
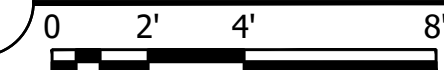
NO	REVISION	DATE

PROJECT NO.	19386649
SHEET NUMBER	M201

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE IN FEET AND INCHES (F'-INCHES). DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE IN FEET AND INCHES (F'-INCHES). DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE IN FEET AND INCHES (F'-INCHES).



**1** PARTIAL ENLARGED MECHANICAL FLOOR PLAN



Plot Date: 09/07/2023 11:01:33am  
 User: jacob.jacob@stantec.com  
 Xref: 1938036049.MXD, 1938036049.MXD, 1938036049.MXD, 1938036049.MXD, 1938036049.MXD, 1938036049.MXD

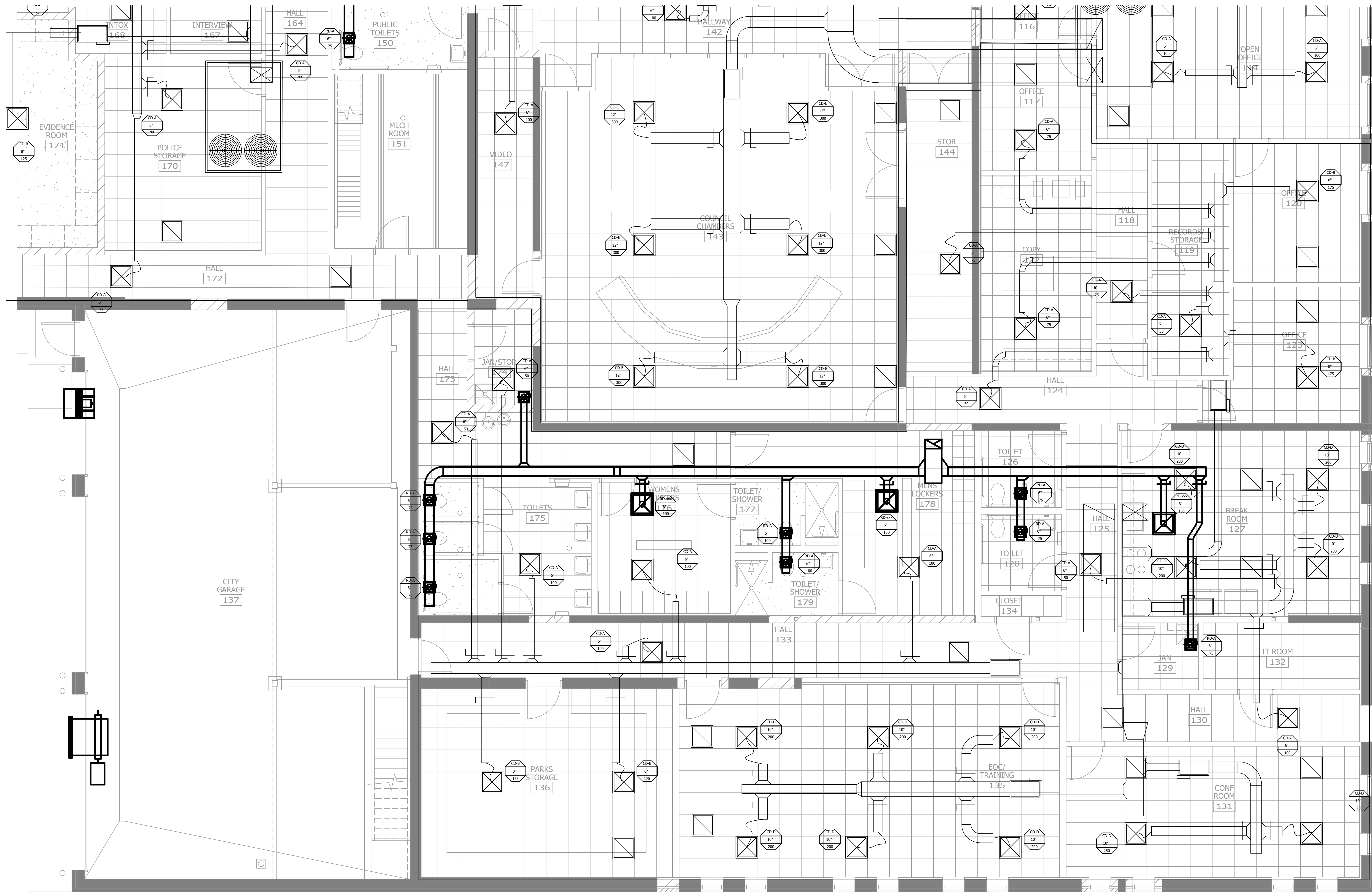
WE HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER UNDER THE BOARD OF ENGINEERS AND SURVEYORS OF THE STATE OF MINNESOTA.  
 PRINT NAME: JEROME REED  
 SIGNATURE: \_\_\_\_\_  
 DATE: SEPTEMBER 11, 2023 LIC. NO. 38000

CITY OF SPRING LAKE PARK, MINNESOTA  
 CITY HALL RENOVATION/EXPANSION  
 PARTIAL ENLARGED MECHANICAL FLOOR PLAN

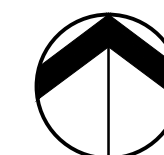
NO	REVISION	DATE

SURVEY \_\_\_\_\_  
 DRAWN: NNS  
 DESIGNED: NNS  
 CHECKED: JLR  
 APPROVED \_\_\_\_\_  
 PROJ. NO.: 1938036049  
 SHEET NUMBER: **M401**

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. DIMENSIONS SHALL TAKE PRECEDENCE OVER THE GRAPHIC REPRESENTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.



1 PARTIAL ENLARGED MECHANICAL FLOOR PLAN  
 0 2' 4' 8'



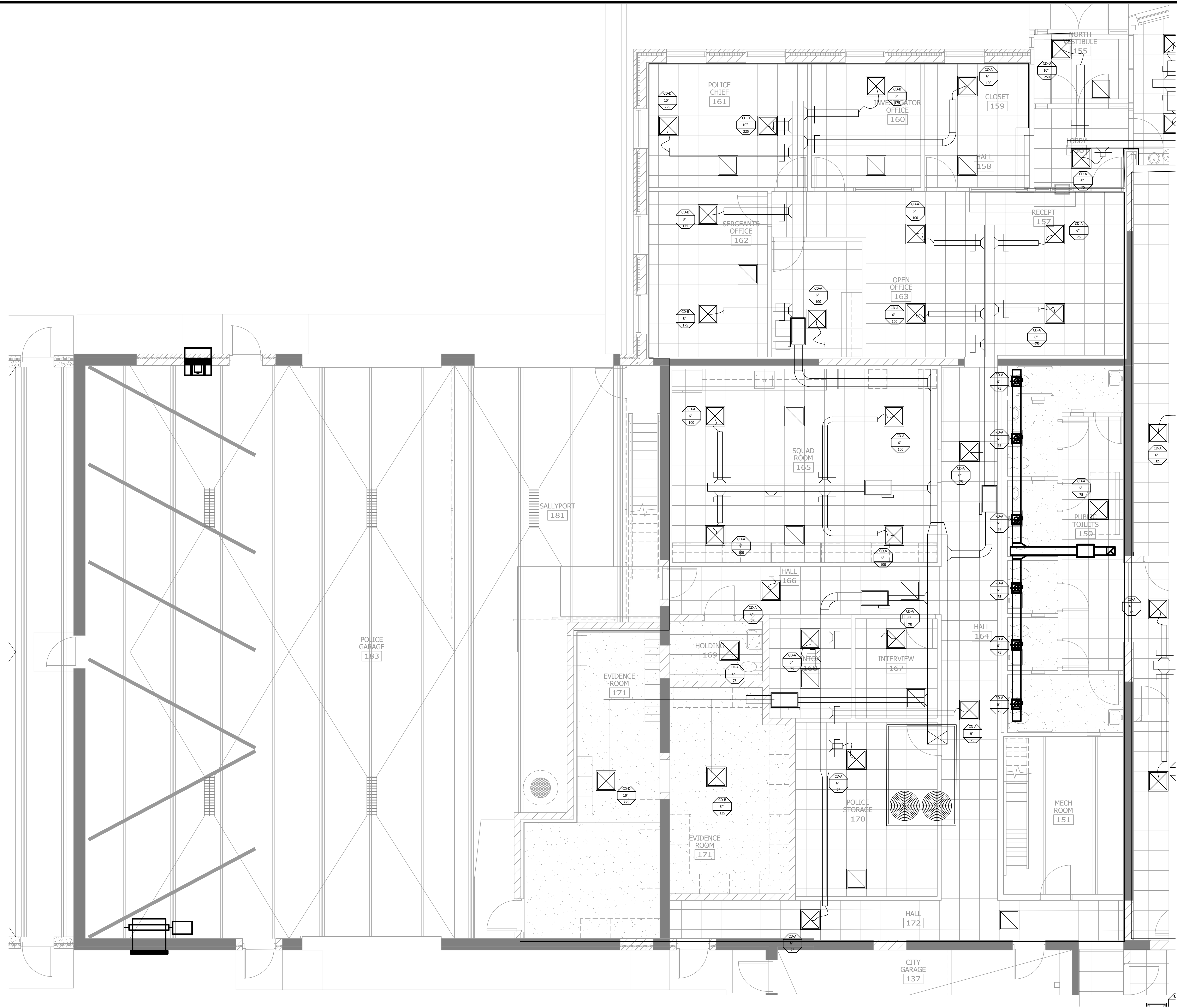
THIS DRAWING IS THE PROPERTY OF STANTEC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF STANTEC IS STRICTLY FORBIDDEN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

CITY OF SPRING LAKE PARK, MINNESOTA  
 CITY HALL RENOVATION/EXPANSION  
 PARTIAL ENLARGED MECHANICAL FLOOR PLAN

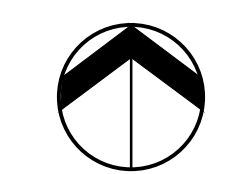
NO.	REVISION	DATE

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND DRAWINGS ARE THE PROPERTY OF STANTEC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Proj Date: 09/07/2023, 11:01:56am  
 User: jstancik  
 Job No: 193806049  
 Job Name: CITY HALL RENOVATION/EXPANSION  
 Job Path: I:\2023\193806049\193806049.dwg



1 PARTIAL ENLARGED MECHANICAL FLOOR PLAN  
 0 2' 4' 8'



I hereby certify that I am a duly Licensed Professional Engineer and that I am a duly Licensed Engineer Under the Laws and Regulations of the State of Minnesota.  
 PRINT NAME: JEROME REED  
 SIGNATURE: \_\_\_\_\_  
 DATE: 09/07/2023 UC: 193806049

CITY OF SPRING LAKE PARK, MINNESOTA  
 CITY HALL RENOVATION/EXPANSION  
 PARTIAL ENLARGED MECHANICAL FLOOR PLAN

NO	REVISION	DATE

SURVEY	
DRAWN	
DESIGNED	
CHECKED	
APPROVED	
PROJECT NO.	193806049
SHEET NUMBER	M403

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**AIR OUTLET SCHEDULE (CEILING DIFFUSERS)**

DESIGNATION	OVERALL SIZE	NECK SIZE Ø	FRAME SIZE	CFM RANGE	MAX NC	MANUFACTURER	MODEL	REMARKS
CD-A	12X12	6"	24X24	0-100	20	PRICE	SPD	SUPPLY
CD-B	24X24	6"	24X24	0-100	20	PRICE	SPD	SUPPLY
CD-C	24X24	8"	24X24	101-175	20	PRICE	SPD	SUPPLY
CD-D	24X24	10"	24X24	176-300	20	PRICE	SPD	SUPPLY
CD-E	24X24	14"	24X24	301-530	20	PRICE	SPD	SUPPLY
RD-A	12X12	6"	12X12	0-100	20	PRICE	SPD	RETURN
RD-B	24X24	6"	24X24	0-100	20	PRICE	SPD	RETURN
RD-E	24X24	15"	24X24	301-530	20	PRICE	SPD	RETURN

- NOTES:**
1. FINISHES AND COLOR SHALL BE SPECIFIED BY THE ARCHITECT.
  2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  3. ALL DIFFUSERS SHALL BE SUITABLE FOR THE TYPE OF CEILING CONSTRUCTION THAT ARE BEING INSTALLED IN. COORDINATE WITH ARCHITECT.
  4. INSTALL FOUR (4) WAY DIFFUSER WITH BLANK OFF BAFFLES FOR 2-WAY OR 3-WAY BLOW.
  5. ALL DIFFUSERS THAT SERVE AREAS WITHOUT HUNG CEILING SHALL BE SUITABLE FOR DUCTWORK MOUNTING.
  6. FOR ALL REGISTERS LOCATED IN GYPSUM CEILING, PROVIDE PLASTER FRAME.

Plot Date: 09/07/2025 1:01:02pm  
 XREF: J:\03\19393047\unexec\project\19393047\CAD\Draw\19393047\A301.rvt  
 XREF: J:\03\19393047\B2R



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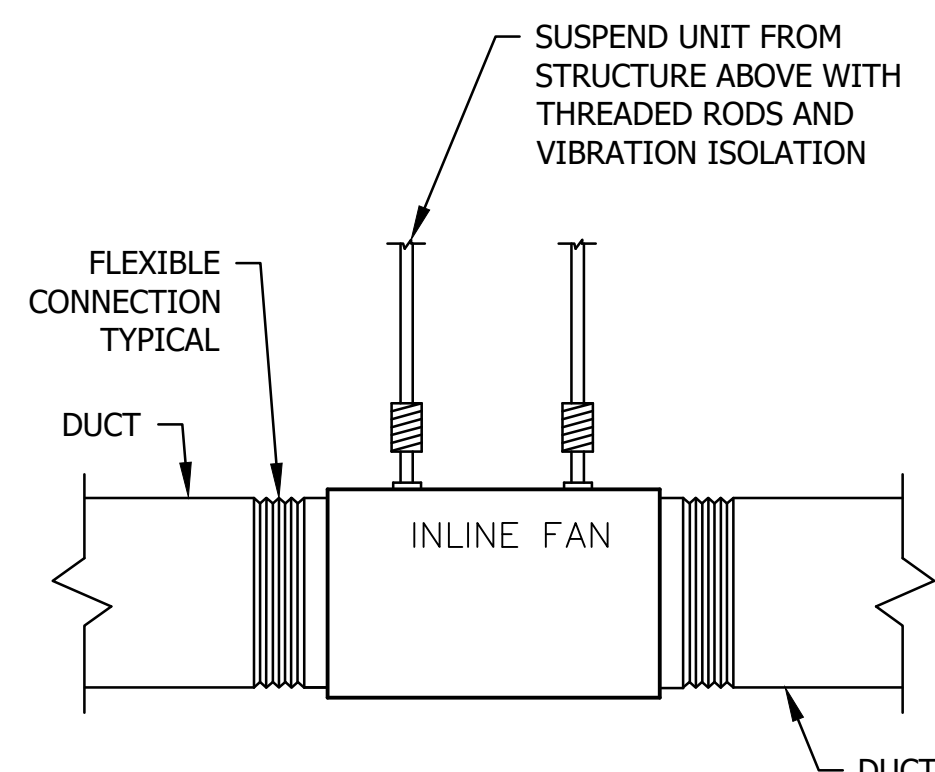
DESIGNED BY: JEREMY REED, LICENSED MECHANICAL ENGINEER  
 DRAWN BY: JEREMY REED, LICENSED MECHANICAL ENGINEER  
 CHECKED BY: JEREMY REED, LICENSED MECHANICAL ENGINEER  
 DATE: 08/26/2025 11:00 AM UIC: M01\_33333

CITY OF SPRING LAKE PARK, MINNESOTA  
 CITY HALL RENOVATION/EXPANSION  
 MECHANICAL SCHEDULES

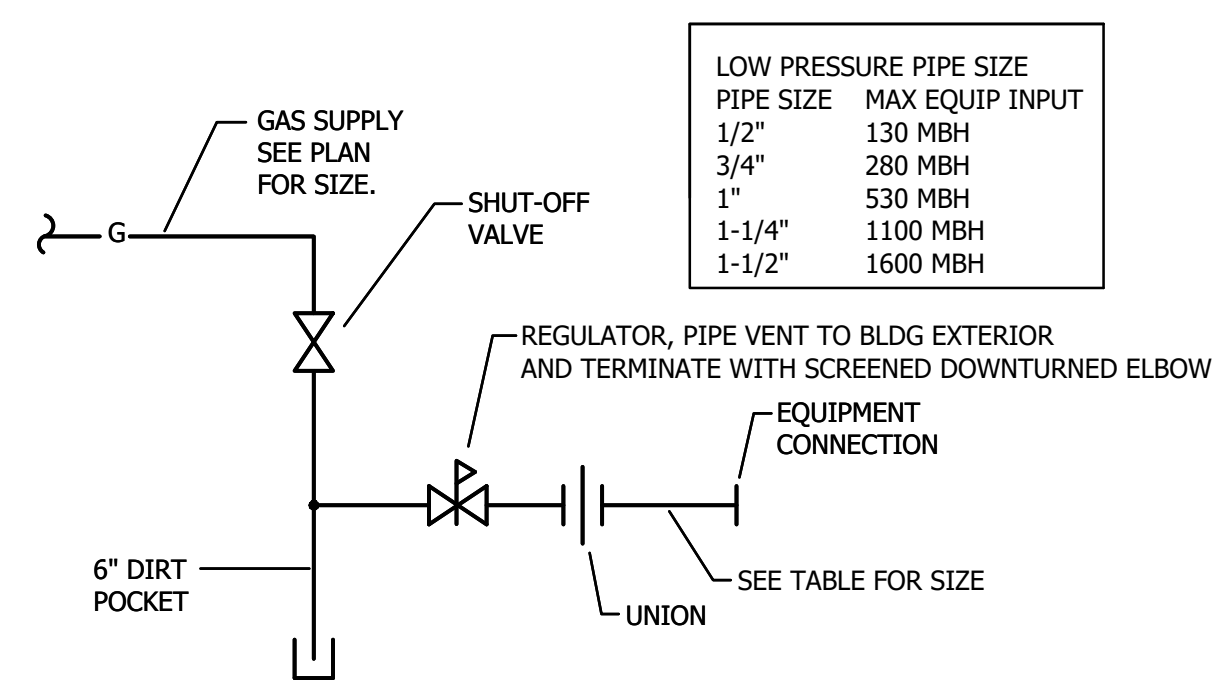
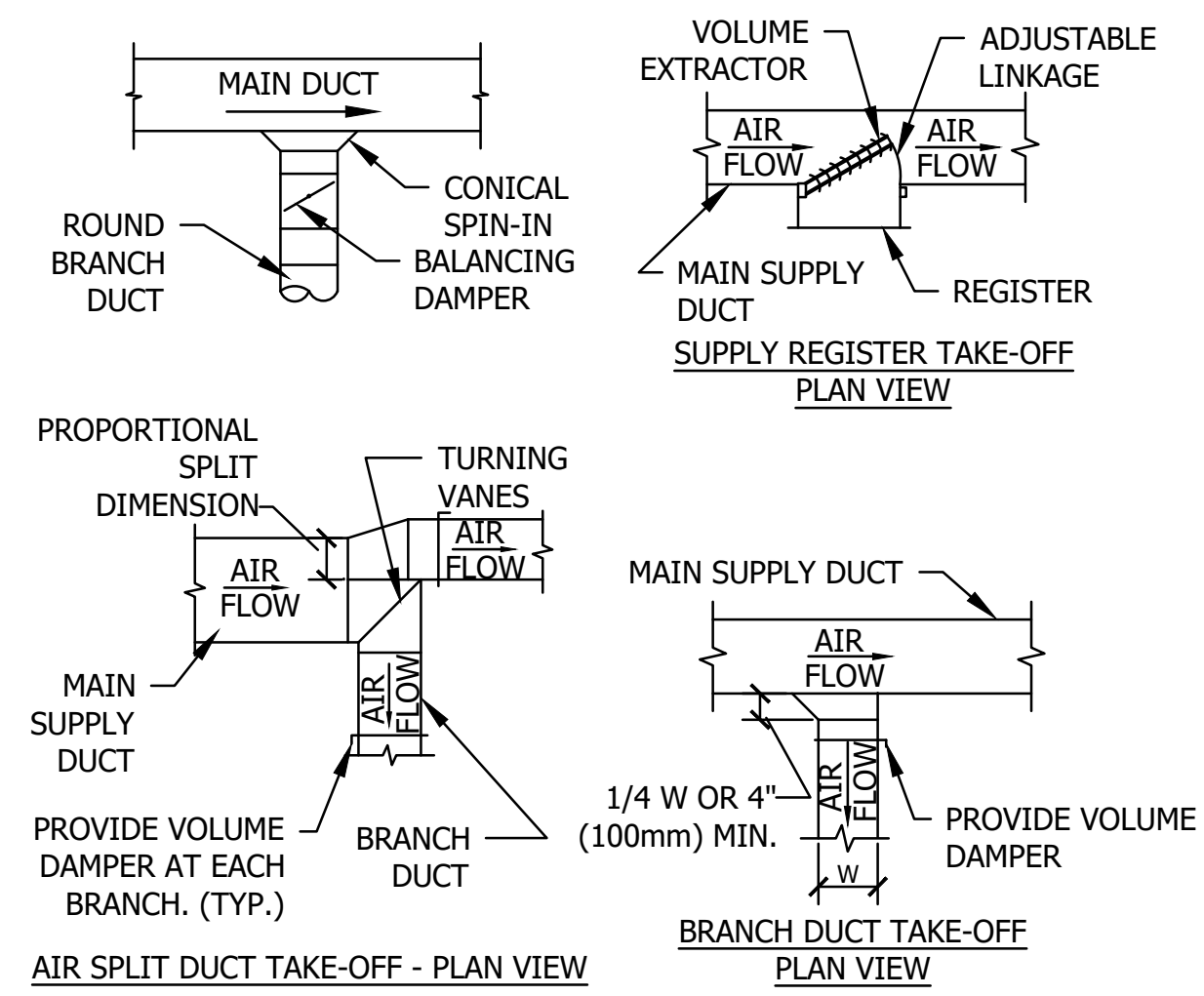
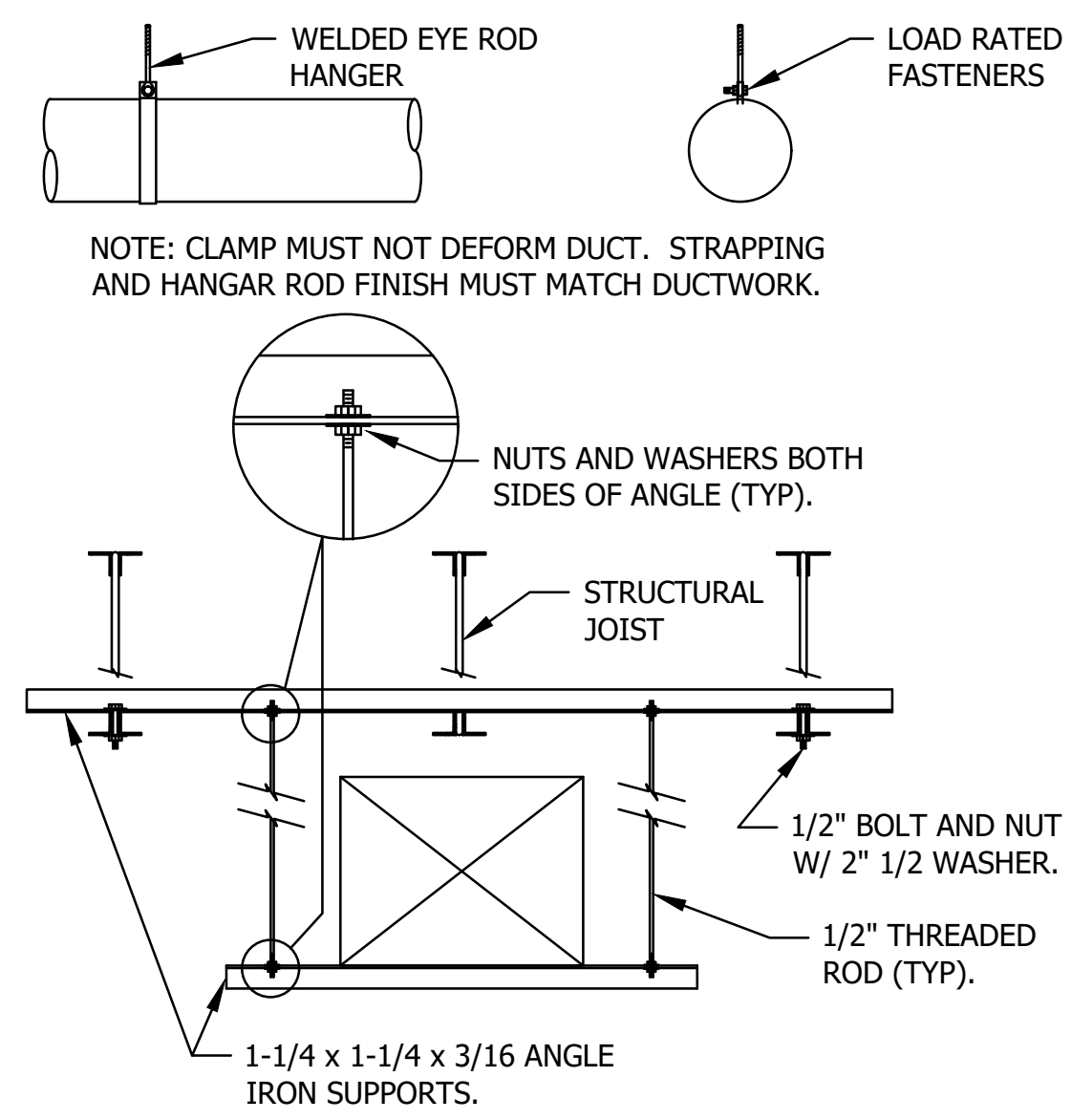
NO	REVISION	DATE

SURVEY \_\_\_\_\_  
 DRAWN \_\_\_\_\_  
 DESIGNED \_\_\_\_\_  
 CHECKED \_\_\_\_\_  
 APPROVED \_\_\_\_\_  
 PROJ. NO. 19393047  
 SHEET NUMBER  
**M501**

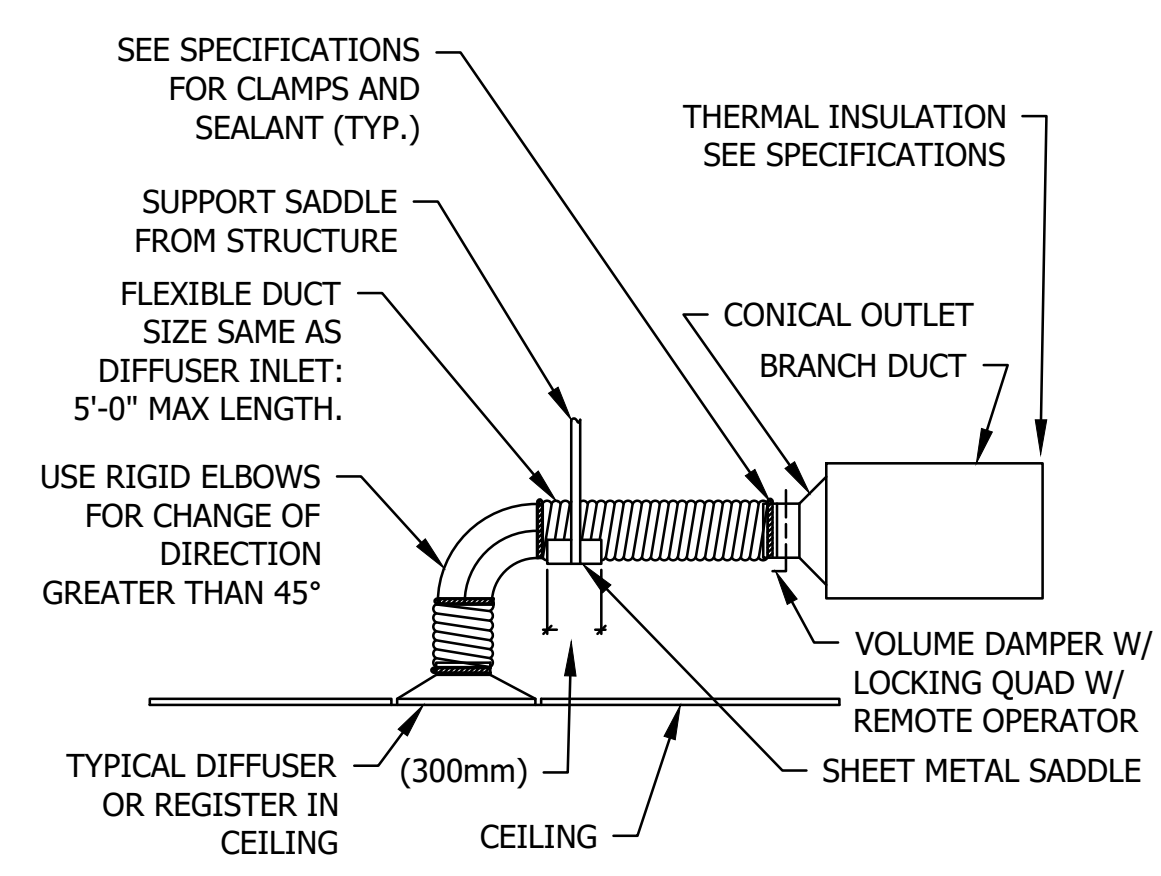
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NOTE:  
INSTALL FAN TO MAINTAIN ACCESS FOR MAINTENANCE



LOW PRESSURE PIPE SIZE	MAX EQUIP INPUT
1/2"	130 MBH
3/4"	280 MBH
1"	530 MBH
1-1/4"	1100 MBH
1-1/2"	1600 MBH



**1** EXHAUST FAN (IN-LINE)  
M 401 N.T.S.

**2** DUCT SUPPORTS  
M 401 N.T.S.

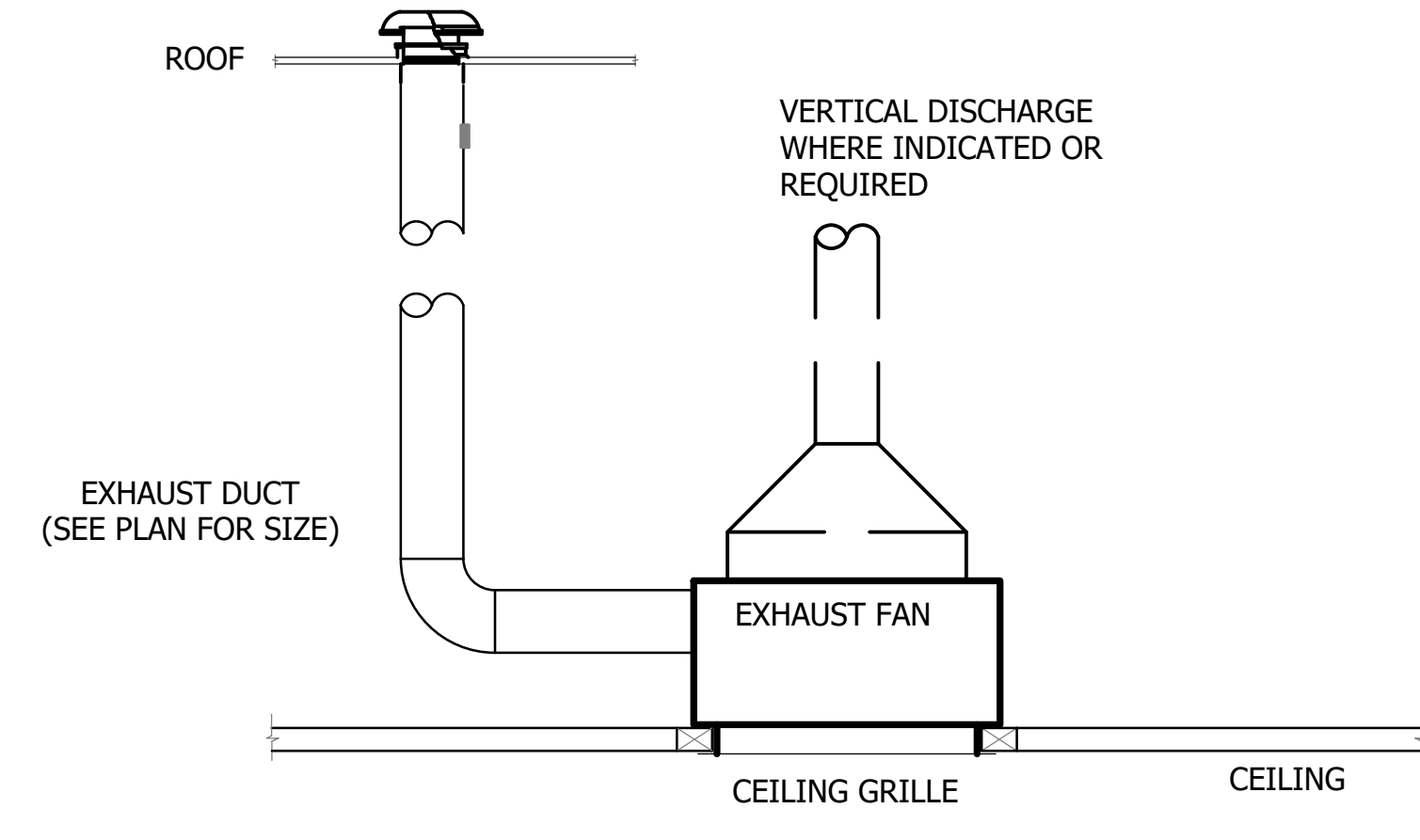
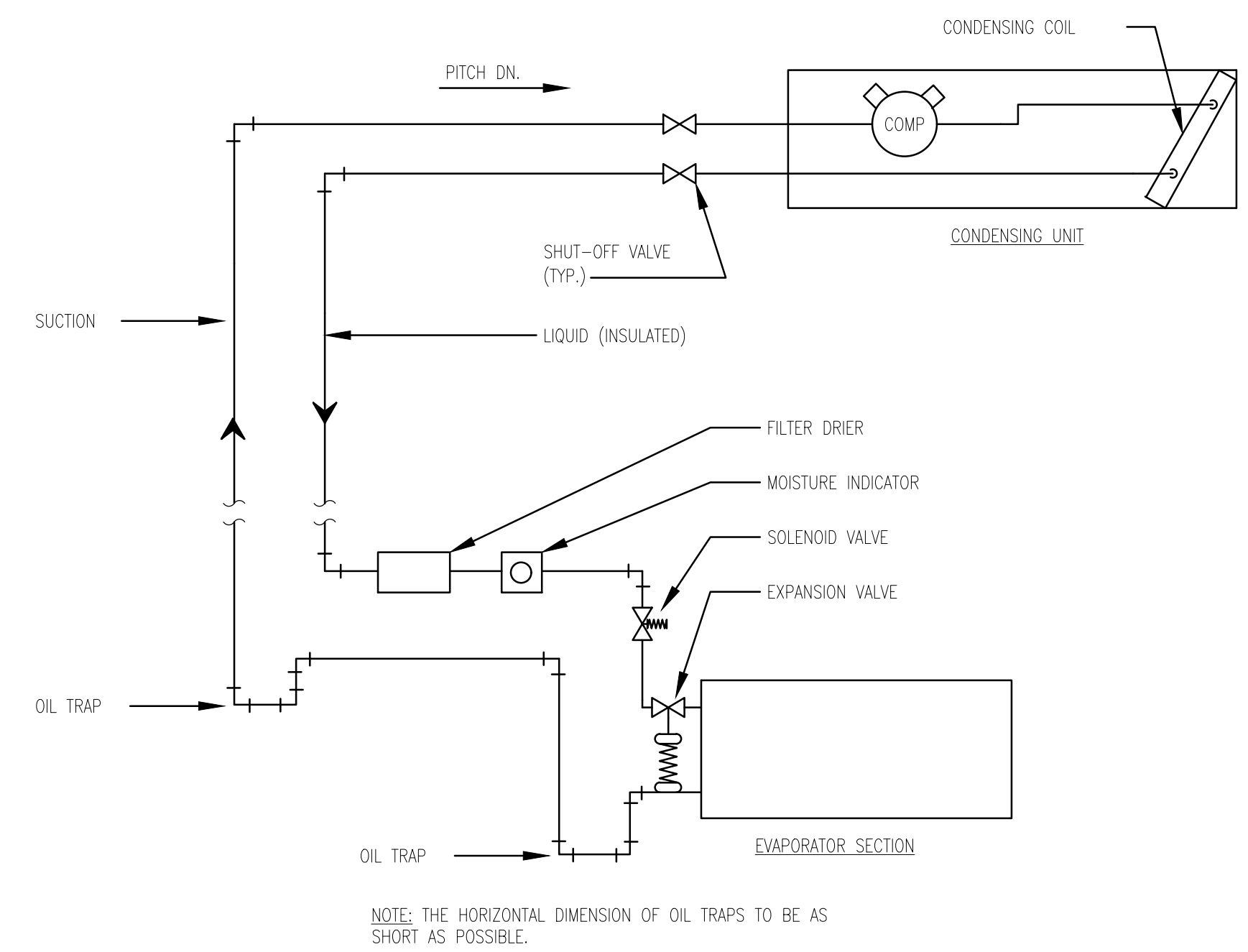
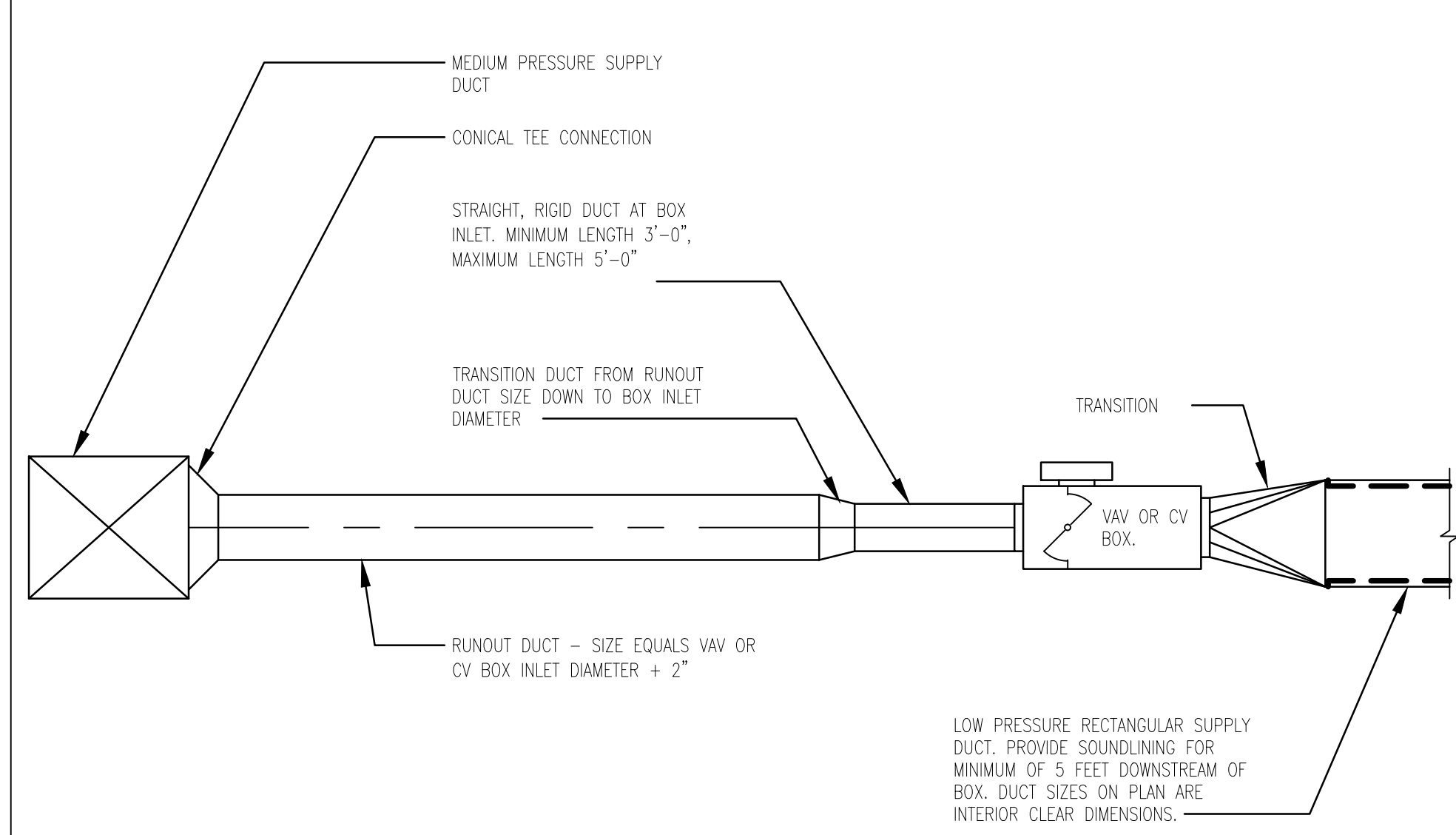
**3** DUCT BRANCHES  
M 401 N.T.S.

**4** GAS APPLIANCE CONNECTION (7 INCH)  
M 401 N.T.S.

**5** GRD - IN HARD CEILING  
M 401 N.T.S.

Plot Date: 09/07/2023 - 10:18:06am  
 XREF: 193806049.MXD  
 Project: 193806049 - Unsaved - Project  
 User: JLR

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**1** AIR TERMINAL CONNECTION DETAILS  
M 402 N.T.S.

**2** REFRIGERANT PIPING SCHEMATIC  
M 402 N.T.S.

**3** CEILING EXHAUST FAN  
M 402 N.T.S.

NO.	REVISION	DATE

SURVEY	
DRAWN	NRG
DESIGNED	NRG
CHECKED	JLR
APPROVED	JLR
PROJ. NO.	193806049
SHEET NUMBER	M602

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Plot Date: 09/07/2023 11:22:25am  
User: jrb  
Job: 19380649  
Project: 19380649  
Drawing: 19380649-01.dwg  
Scale: 1:1

### ONE-LINE DIAGRAM SYMBOLS

	INCOMING LINE
	POWER CIRCUIT BREAKER
	OIL CIRCUIT BREAKER
	CIRCUIT BREAKER
	DRAW-OUT CIRCUIT BREAKER
	LOAD BREAK INTERRUPTING SWITCH
	SINGLE THROW DISCONNECTING SWITCH
	DOUBLE THROW DISCONNECTING SWITCH
	FUSE
	DISCONNECTING FUSE
	SWITCH AND FUSE
	RESISTOR 1
	RESISTOR 2
	CURRENT TRANSFORMER
	POTENTIAL TRANSFORMER
	LIGHTNING ARRESTER
	TRANSFORMER
	CAPACITOR
	MOTOR
	GENERATOR
	RELAY (* RELAY NO.)
	STRESS CONE
	FUSE CUTOUT
	ENCLOSED FUSE CUTOUT
	AMMETER
	AMMETER SWITCH
	DEMAND METER
	POWER FACTOR METER
	VOLTMETER
	VOLTMETER SWITCH
	WATTMETER
	WATTHOUR METER
	WATTHOUR METER WITH DEMAND REGISTER
	MULTI-FUNCTION METER
	METER
	TRANSIENT VOLTAGE SURGE SUPPRESSOR (T.V.S.S.)
	KEY INTERLOCK
	AUTOMATIC TRANSFER SWITCH (A.T.S.)

### PANELBOARD NAMING CONVENTION

TYPICAL UNLESS INDICATED OTHERWISE

	EQUIPMENT TYPE
	VOLTAGE
	EQUIPMENT NUMBER

EQUIPMENT TYPE: SE = SERVICE ENTRANCE PANELBOARD  
LP = LIGHTING AND APPLIANCE BRANCH-CIRCUIT PANELBOARD  
PP = POWER PANELBOARD  
L = LIGHTING CONTROL PANEL

VOLTAGE: A = 120/240 1Ø  
B = 208/120 3Ø  
C = 240/120 3Ø  
D = 480/277 3Ø

### LIGHTING SYMBOLS

	FIXTURE TYPE EMERGENCY BALLAST CIRCUIT NUMBER FLUORESCENT FIXTURE SWITCH DESIGNATION MOUNTING HEIGHT:
	CEILING RECESSED MOUNTED CEILING SURFACE MOUNTED PENDANT MOUNTED AT X" A.F.F. WALL MOUNTED AT X" A.F.F.
	WALL MOUNT FIXTURE
	FLUORESCENT OR INCANDESCENT RECESSED DOWNLIGHT
	FLUORESCENT OR INCANDESCENT RECESSED WALLWASHER
	NEMA 4 REMOTE HEAD INDICATES ARROW DIRECTION (IF ANY) EXIT LIGHT FACE(S) ON WHICH LETTERING APPEARS WALL MOUNTED UNIT (NO BRACKET = CEILING MOUNT) EXIT/BATTERY PACK LIGHT LOW VOLTAGE SWITCH COVE LIGHT OCCUPANCY SENSOR

### POWER SYMBOLS

	WEATHERPROOF DUPLX RECEPTACLE - 18" AFF CIRCUIT NUMBER GROUND FAULT TYPE PEDESTAL MOUNTED FLOOR BOX DOUBLE DUPLEX RECEPTACLE - 18" AFF EMERGENCY POWER DUPLEX RECEPTACLE - 18" AFF CEILING PENDENT RECEPTACLE DROP FLOOR MOUNTED RECEPTACLE OUTLET PLUG STRIP - LETTER DESIGNATES TYPE - 18" AFF HOME RUN SURFACE MOUNT HOME RUN UNDER-GROUND OR IN-SLAB CEILING MOUNTED RECEPTACLE WELDING RECEPTACLE - 18" AFF SPECIAL PURPOSE RECEPTACLE - 18" AFF
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### POWER SYMBOLS (CONT)

	ISOLATES GROUND DUPLX RECEPTACLE - 18" AFF CIRCUIT NUMBER TRANSIENT VOLTAGE SURGE SUPPRESSION SPLIT WIRE RECEPTACLE - 18" AFF CLOCK OUTLET MOUNT AT +7-6" AFF, OR AS NOTED ON DRAWINGS. REMOTE CONNECTION FOR CD / TAPE PLAYER MICROPHONE RECEPTACLE WITH VOLUME CONTROL SINGLE POLE SWITCH - 48" AFF SWITCH DESIGNATION THREE-WAY SWITCH - 48" AFF FOUR-WAY SWITCH - 48" AFF DIMMER SWITCH - 48" AFF KEY OPERATED SWITCH - 48" AFF SWITCH AND PILOT LIGHT - 48" AFF MANUAL MOTOR STARTER OCCUPANCY SENSOR (WALL MOUNTED) - 48" AFF OCCUPANCY SENSOR (CEILING MOUNTED) RECEPTACLE PANEL LIGHTING PANEL - 54" AFF DISTRIBUTION PANEL - 54" AFF DISCONNECT SWITCH - 54" AFF FUSED DISCONNECT SWITCH - 54" AFF WALL MOUNTED CIRCUIT BREAKER - 54" AFF COMBINATION STARTER DISCONNECT - 54" AFF MOTOR 3 PHASE MOTOR 1 PHASE METER SOCKET
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### TELEPHONE AND INTERCOM SYMBOLS

	TELEPHONE OUTLET - 18" AFF WALL MOUNT TELEPHONE OUTLET - 54" AFF FLOOR MOUNTED TELEPHONE OUTLET DATA COMMUNICATIONS OUTLET - 18" AFF VOICE/DATA OUTLET - 18" AFF POWER/DATA COMMUNICATIONS CEILING POLE DROP FLOOR MOUNTED DATA COMMUNICATIONS OUTLET TELEPHONE TERMINAL CABINET INTERCOM DOOR STATION - WALL MOUNTED 54" AFF INTERCOM MASTER STATION WALL OR DESK MOUNTED INTERCOM HANDSET STATION WITH HANDSET AND SPEAKER AMPLIFIER 54" AFF INTERCOM SPEAKER
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### FIRE ALARM SYMBOLS

	MANUAL PULL STATION - 48" AFF FIRE ALARM HORN/STROBE - 80" AFF (WP-WEATHERPROOF) (WG-WIRE GUARD) FIRE ALARM STROBE - 80" AFF FLOW SWITCH TAMPER SWITCH SMOKE DETECTOR - PHOTOELECTRIC SMOKE DETECTOR - IONIZATION DUCT SMOKE DETECTOR SMOKE DETECTOR - ELEVATOR RECALL HEAT DETECTOR DOOR HOLDER FIRE ALARM HORN FIRE ALARM BELL FIREMANS TELEPHONE
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### SECURITY SYMBOLS

	GLASS MOUNTED GLASS BREAK DETECTOR GLASS BREAK DETECTOR SENSING DIRECTION MOTION DETECTOR SENSING DIRECTION HELP BUTTON KEYPAD TYPE ARMING STATION - 48" AFF EMERGENCY TELEPHONE DOOR CONTACT ELECTRIC LOCK ELECTRIC STRIKE REQUEST TO EXIT (REX) MOTION SENSOR CARD READER - 48" AFF CCTV CAMERA - FIXED MOUNT CCTV CAMERA - PANT/TILT/ZOOM DATA GATHERING PANEL - BURGLAR ALARM ACCESS CONTROL PANEL
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### CONTROL/MISC SYMBOLS

	WALL MOUNTED JUNCTION BOX CEILING MOUNTED JUNCTION BOX SOLENOID LEVEL TRANSDUCER EMERGENCY STOP SWITCH LIMIT SWITCH FLOW SWITCH PRESSURE SWITCH TEMPERATURE SWITCH SPEED SWITCH FLOOD SWITCH LEVEL (FLOAT) SWITCH DAMPER SURGE SUPPRESSOR PUSHBUTTON STATION PUSHBUTTON WITH ILLUMINATED STOP SELECTOR SWITCH SELECTOR SWITCH WITH INDICATING LIGHT BELL BUZZER HORN DOOR HOLDER PLUG
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### CONTROL/KEY NOTES SYMBOLS

	KEYNOTE
	KEYNOTE
	KEYNOTE
	KEYNOTE
	KEYNOTE
	KEYNOTE

### CONTROL SCHEMATIC SYMBOLS

	NORMALLY CLOSED PUSHBUTTON NORMALLY OPEN PUSHBUTTON THREE - POSITION SELECTOR SWITCH TWO - POSITION SELECTOR SWITCH NORMALLY CLOSED LIMIT SWITCH - HELD OPEN NORMALLY OPEN LIMIT SWITCH
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### CONTROL SCHEMATIC SYM. (CONT)

	NORMALLY OPEN LIMIT SWITCH - HELD CLOSED NORMALLY CLOSED LIMIT SWITCH OPEN SWITCH WITH TIME DELAY CLOSING CLOSED SWITCH WITH TIME DELAY OPENING OPEN SWITCH WITH TIME DELAY OPENING CLOSED SWITCH WITH TIME DELAY CLOSING FLOW SWITCH (CLOSES ON INCREASE IN FLOW) FLOW SWITCH (OPENS ON INCREASE IN FLOW) LEVEL SWITCH (CLOSES ON RISING LEVEL) LEVEL SWITCH (OPENS ON RISING LEVEL) PRESSURE SWITCH (CLOSES ON RISING PRESSURE) PRESSURE SWITCH (OPENS ON RISING PRESSURE) TEMPERATURE SWITCH (CLOSES ON RISING TEMP.) TEMPERATURE SWITCH (OPENS ON RISING TEMP.) NORMALLY OPEN CONTACTS NORMALLY CLOSED CONTACTS INDICATING LIGHT SOLENOID MANUAL STARTER CURRENT TRANSFORMER TIMING RELAY RELAY MOTOR STARTER COIL AND OVERLOAD CONTACTS GROUND CONTROL CIRCUIT TRANSFORMER OVERLOAD
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**DESIGN DEVELOPMENT  
COST MANAGEMENT REPORT  
SPRING LAKE PARK CITY HALL RENOVATION/EXPANSION  
SPRING LAKE PARK, MINNESOTA  
12 JULY 2023 7/20/23 (PHASED)**

**PREPARED FOR:**

**STANTEC  
MINNEAPOLIS, MINNESOTA**

**PREPARED BY:**

**CPMI  
EAGAN, MN • WEST DES MOINES, IA**

**DESIGN DEVELOPMENT  
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 12 JULY 2023**

**BASIC ASSUMPTIONS**

This Design Development Document Submittal Cost Management Report is based on information and drawings provided by Stantec Architecture and received by CPMI on June 28, 2023. Additional information was obtained from discussions with the design team. The level of detail and accuracy of pricing in this estimate is consistent with the degree of completeness within the documents used for estimating purposes.

The documents used to prepare this estimate include:

- Design Development documents set, undated, consisting of:
  - General Information drawings, (2) sheets.
  - Architectural drawings, (24) sheets.
  - Fire Suppression drawings, (5) sheets.
  - Plumbing drawings, (7) sheets.
  - HVAC drawings, (5) sheets.
  - Design Development Partial Specifications Manual, dated 10/2023.

Other assumptions applied to this estimate include:

• **Building Area Calculations:**

CONSTRUCTION AREA	TOTAL
Main Level	19,660
Addition	2,630 SF
Renovation	17,030 SF
Mezzanine Level	<u>1,010</u>
<b>TOTAL NEW/RENOVATION CONSTRUCTION</b>	<b>20,670 SF</b>

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**BASIC ASSUMPTIONS**

GSF by Area Type

Conference/Assembly/Chambers	3,780 SF
Lobby/Reception/Waiting	610 SF
Storage/Utility	2,500 SF
Break/Squad Rooms	900 SF
Office/Open Office/Copy	4,040 SF
Interview/Holding	260 SF
Garage/Sallyport	4,630 SF
Toilet/Locker Rooms	1,330 SF
Mechanical/Electrical	420 SF
Corridors/Circulation/Vestibules	<u>2,200 SF</u>
	20,670 SF

• **Project Description**

This project will add a 2,600 square foot addition and a near total renovation of the existing City Hall building in Spring Lake Park, Minnesota. The addition will add new entryways and administrative space to the east side of the building. The 17,000 square foot renovation will gut the existing structure. The existing mechanical and electrical systems will be removed and replaced entirely.

• **Project Conditions**

This estimate is based on the building being occupied during construction and the work being completed in up to four phases.

• **Project Delivery Method**

A typical design-bid-build project delivery method is expected for this project.

• **Bid Conditions**

This estimate is based on a competitive bid environment (minimum of 3 bidders) for all items of subcontracted work. It is also based on a minimum of three bids being received from general contractors. It is assumed prospective bidders will not be pre-qualified to bid on this project.



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**BASIC ASSUMPTIONS**

**• Items Excluded From This Estimate**

Items which are not in the detail of this report include, but are not limited to:

- Professional design and consulting fees.
- Hazardous materials remediation.
- Owner's administrative and supervision costs.
- Building permits.
- Construction contingency.
- Building commissioning other than contractor participation.
- Testing and inspections.
- Utility company rebates.
- Moving costs.
- Provisions for Disadvantaged Business Enterprise (DBE) et al., guidelines and goals.
- SAC & WAC charges and/or fees.
- Provisions for liquidated or actual damages.

**• Construction Schedule**

	START	MIDPOINT	FINISH	DURATION
Construction	Mar-24	Sep-24	Feb-25	12 Months

**• Escalation**

Unit costs included herein are reflective of current costs with no escalation included. A labor and material escalation factor based on the above mentioned schedule is included on the cost summary page.

**• Design Contingency**

An allowance for undeveloped design and specification details is included in this estimate and added to each summary. As the design is further developed, this contingency will decrease in value and the costs associated with the design details will be incorporated into the itemized portion of the estimate. This contingency also includes cost engineering accuracies related to document interpretation.

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**BASIC ASSUMPTIONS**

• **Items Affecting The Cost Estimate**

Items which may have an impact on the estimated construction cost include, but are not limited to:

- Modifications to the scope of work included in this estimate.
- Unforeseen sub-surface soil conditions.
- Restrictive technical specifications.
- Construction period other than defined in this report.
- Any specified item of equipment, material or product that cannot be obtained from at least three different sources.

• **Estimate Assumptions/Clarifications**

- EXCLUSIONS:

- a. Soil correction at existing fuel island.

- ASSUMPTIONS:

- a. Existing utility services are adequate for new building loads.
- b. Fire Suppression, Plumbing, HVAC and Electrical systems assumed to be completely removed and new systems installed.

• **Estimate Objective**

This estimate is intended to be used as a tool for decision making and managing construction costs during the design phase of the project. It is prepared using industry contacts, experience, and the best judgment of a professional consultant. This estimate is intended to reflect an amount close to what would be the low bid of the project with respect to the present level of design and documentation along with consideration given to the current market conditions. CPMI has no control over market conditions, wage rates, or any contractor's method of determining prices or quantities. Therefore, CPMI cannot and does not guarantee this estimate will not vary from the actual bid.

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RECAP SUMMARY

DESCRIPTION	TOTAL \$ AMOUNT
ADDITION/RENOVATION CONSTRUCTION COST	\$6,711,800
FF&E ALLOWANCE	\$600,000
<b>TOTAL CONSTRUCTION COST w/FF&amp;E</b>	<b>\$7,311,800</b>

**Alternate 1:** ADD \$314,500  
Add Cold Storage Room 184.

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**CONSTRUCTION COST SUMMARY**  
**TOTAL CONSTRUCTION AREA – 20,670 GSF**

DESCRIPTION	\$/GSF	TOTAL \$ AMOUNT	% OF TOTAL
<b><u>BUILDING</u></b>			
General Construction	93.65	2,415,210	58.42%
Mechanical Construction	52.85	1,092,420	26.42%
Electrical Construction	30.33	626,970	15.16%
Subtotal Direct Costs	200.03	4,134,600	100.00%
General Conditions, Overhead & Profit	56.46	1,167,000	
Subtotal	256.49	5,301,600	
Design Contingency – 20.0%	51.30	1,060,300	
TOTAL JULY 2023	307.78	6,361,900	
Labor & Material Escalation – 5.5% (Construction Midpoint – 9/2024)	16.93	349,900	
<b>TOTAL BUILDING COST</b>	<b>\$324.71</b>	<b>\$6,711,800</b>	

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CONSTRUCTION COST SUMMARY  
 TOTAL CONSTRUCTION AREA – 20,670 GSF

DESCRIPTION	\$/GSF	TOTAL \$ AMOUNT	% OF TOTAL
<b><u>SITWORK</u></b>			
Existing Conditions (Selective Demolition)	18.31	378,460	10.35%
Earthwork	2.70	55,710	1.52%
Exterior Improvements	2.19	45,330	1.24%
Utilities	0.00	0	0.00%
Subtotal Direct Costs	23.20	479,500	13.11%
General Conditions, Overhead & Profit	4.29	88,700	
Subtotal	27.49	568,200	
Design Contingency – 20.0%	5.50	113,700	
TOTAL JULY 2023	32.99	681,900	
Labor & Material Escalation – 5.50% (Construction Midpoint – 9/2024)	1.81	37,500	
<b>TOTAL SITEWORK COST</b>	<b>\$34.80</b>	<b>\$719,400</b>	

<b>TOTAL CONSTRUCTION COST – BLDG &amp; SITWORK</b>	<b>\$324.71</b>	<b>\$6,711,800</b>
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**DESIGN DEVELOPMENT**  
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**MASTER FORMAT COST SUMMARY**  
**TOTAL CONSTRUCTION AREA – 20,670 GSF**

SYSTEM	\$/GSF	TOTAL \$ AMOUNT
02 EXISTING CONDITIONS (Selective Demolition)	18.31	378,460
03 CONCRETE	5.46	112,910
04 MASONRY	11.61	240,020
05 METALS	4.62	95,490
06 WOODS, PLASTICS & COMPOSITES	5.34	110,310
07 THERMAL & MOISTURE PROTECTION	17.03	352,020
08 OPENINGS	19.70	407,240
09 FINISHES	22.99	475,300
10 SPECIALTIES	6.61	136,720
11 EQUIPMENT	0.00	0
12 FURNISHINGS	0.28	5,740
14 CONVEYING EQUIPMENT	0.00	0
21 FIRE SUPPRESSION	3.57	73,850
22 PLUMBING	13.12	271,090
23 HVAC	36.16	747,480
26 ELECTRICAL	20.44	422,440
27 COMMUNICATIONS	3.23	66,680
28 ELECTRONIC SAFETY & SECURITY	6.67	137,850
31 EARTHWORK	2.70	55,710
32 EXTERIOR IMPROVEMENTS	2.19	45,330
33 UTILITIES	0.00	0
Subtotal Direct Cost	200.03	4,134,600
General Conditions, OH & Profit	56.46	1,167,000
Subtotal	256.49	5,301,600
Design Contingency – 20.0%	51.30	1,060,300
TOTAL JULY 2023	307.78	6,361,900
Labor & Material Escalation – 5.5%	16.93	349,900
<b>TOTAL CONSTRUCTION COST</b>	<b>\$324.71</b>	<b>\$6,711,800</b>

**DESIGN DEVELOPMENT  
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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 02 – EXISTING CONDITIONS</b>			
02 41 Demolition			
Sawcut & Remove SOG	1,100 SF	8.00	8,800
Remove Mezzanine Structure & Railings	2,100 SF	10.00	21,000
Demo Exterior Wall	950 SF	20.00	19,000
Demo Existing Windows	500 SF	6.50	3,250
Remove Partition Wall	15,000 SF	3.00	45,000
Remove Door & Frame, Per Leaf	70 EA	125.00	8,750
Remove Flooring & Base	17,030 SF	1.50	25,545
Remove ACT Ceilings	17,030 SF	2.00	34,060
Remove Casework	150 LF	35.00	5,250
Remove Toilet Partitions & Toilet Accessories	7 EA	200.00	1,400
Remove Metal Mezzanine Stairs, Flight	4 EA	750.00	3,000
Remove Existing Roofing System to Deck	15,300 SF	4.00	61,200
Fire Suppression Demolition			
Remove Existing Wet Pipe Sprinkler System Incl Branch Piping, Hangers & Heads	17,030 SF	0.85	14,476
Plumbing Demolition			
Remove All Plumbing Fixtures, Piping, Equipment and Accessories	17,030 SF	2.00	34,060
HVAC Demolition			
Remove All HVAC Equipment, Ductwork, Piping, Grilles/Diffusers	17,030 SF	4.00	68,120
Electrical Demolition			
Demo All Interior Lighting/Devices/Data/FA Conduit & Conductor	17,030 SF	1.50	<u>25,545</u>
<b>TOTAL DIVISION 02 - EXISTING CONDITIONS</b>			<b>378,460</b>

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 03 – CONCRETE</b>			
03 10 Concrete Forming & Accessories			
03 20 Concrete Reinforcing			
03 30 Cast-In-Place Concrete			
Foundations			
Exterior Strip Footings, 2-6 w	145 LF	60.00	8,700
Curved	40 LF	70.00	2,800
Interior Strip Footings, 2-6 w	230 LF		
Exterior Spread Footings	6 EA	650.00	3,900
Interior Spread Footings	7 EA	650.00	4,550
Stoop Footings	32 LF	50.00	1,600
CIP Concrete Piers	24 LF	125.00	3,000
SOG to Match Existing	2,630 SF	7.50	19,725
Patch SOG to Match Existing	1,100 SF	7.50	8,250
Stoop Slab-on-Grade	65 SF	6.00	390
Hollowcore Precast Floor Plank	1,010 SF	14.00	14,140
2" Topping Slab	1,010 SF	3.75	3,788
Hollowcore Precast Roof Plank	3,005 SF	14.00	<u>42,070</u>
<b>TOTAL DIVISION 03 – CONCRETE</b>			<b>112,910</b>



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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 04 – MASONRY</b>			
04 00 Maintenance of Masonry			
04 20 Unit Masonry			
Foundation Walls, 16" Segmented Curve	580 SF 160 SF	32.00 40.00	18,560 6,400
Stoop Fndn Walls	128 SF	18.00	2,304
Exterior Walls			
CMU Backup Walls	1,980 SF	22.00	43,560
Face Brick Veneer	1,630 SF	26.00	42,380
Cast Stone Masonry Veneer	350 SF	35.00	12,250
Interior Walls			
CMU Interior Partitions	4,650 SF	22.00	102,300
Face Brick Veneer	400 SF	26.00	10,400
Bond Beam Lintels	55 LF	34.00	<u>1,870</u>
<b>TOTAL DIVISION 04 – MASONRY</b>			<b>240,020</b>

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 05 – METALS</b>			
05 10 Structural Metal Framing			
Columns	156 LF	105.00	16,380
WF Structural Steel Mezz Floor Framing	1,010 SF	18.50	18,685
WF Structural Roof Steel Framing	2,630 SF	16.50	43,395
05 20 Metal Joists			
05 30 Metal Decking			
Metal Roof Decking	570 SF	3.25	1,853
05 40 Cold Formed Metal Framing			
05 50 Metal Fabrications			
Mezzanine Stairs & Railings			
Treads	100 LF	95.00	9,500
Landings	5 SF	130.00	650
Wall Mtd Railings	45 LF	65.00	2,925
Full Tier Railings	15 LF	140.00	2,100
<b>TOTAL DIVISION 05 – METALS</b>			<b>95,490</b>

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 06 – WOOD, PLASTICS &amp; COMPOSITES</b>			
06 10 Rough Carpentry Wood Blocking Allowance	1 LS	5,000.00	5,000
06 20 Finish Carpentry			
06 40 Architectural Wood Casework Plam Base Cabinets & Ctop	100 LF	375.00	37,500
Plam Wall Cabinets	75 LF	150.00	11,250
Council Bench w/ Kevlar Panels, Curved	28 LF	1,500.00	42,000
06 60 Plastic Fabrication Solid Surface Transaction Countertop	28 LF	145.00	4,060
Solid Surface Window Sills	140 LF	75.00	<u>10,500</u>
<b>TOTAL DIVISION 06 – WOOD, PLASTICS &amp; COMPOSITES</b>			<b>110,310</b>

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 07 – THERMAL &amp; MOISTURE PROTECTION</b>			
07 10 Dampproofing & Waterproofing			
07 20 Thermal Protection			
Rigid Insulation			
@ Foundation Walls	740 SF	3.00	2,220
@ Perimeter SOG (Horizontal)	740 SF	3.00	2,220
Rigid Insulation	1,980 SF	3.25	6,435
07 24 Exterior Insulation & Finish System			
Air & Vapor Barrier	2,340 SF	4.75	11,115
07 25 Weather Barriers			
07 40 Roofing & Siding Panels			
Prefinished Metal Wall Panels	360 SF	40.00	14,400
07 46 Siding			
07 53 Membrane Roofing			
Adhered TPO Roofing w/ Sloped Insul, Full Roof	17,930 SF	16.00	286,880
07 60 Flashing & Sheet Metal			
Counterflashing & Parapet Cap Allowance	750 LF	32.00	24,000
07 80 Fire & Smoke Protection			
07 90 Joint Protection			
Sealant Allowance	1,000 LF	4.75	<u>4,750</u>
<b>TOTAL DIVISION 07 – THERMAL &amp; MOISTURE PROTECTION</b>			<b>352,020</b>

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 08 – OPENINGS</b>			
08 10 Doors & Frames			
Exterior Doors			
Alum Fully Glazed Exterior Storefront Doors w/ Hardware			
Double	2 PR	8,555.00	17,110
HM Doors and Frames			
Single	4 EA	1,050.00	4,200
Interior Doors			
Alum Fully Glazed Interior Vestibule Doors w/ Hardware			
Single	3 EA	4,275.00	12,825
Double	2 PR	8,555.00	17,110
HM Door & HM Frame			
Single	46 EA	950.00	43,700
Double	3 PR	1,900.00	5,700
SC Wd Door & HM Frames			
Single	34 EA	900.00	30,600
Double	1 PR	1,800.00	1,800
Wood Pocket Door w/ HM Frame & Hardware			
Single	3 EA	1,030.00	3,090
HM Sidelight Glazing	100 SF	65.00	6,500
Add For Half Lite	1 EA	375.00	375
Add For Narrow Lite	14 EA	125.00	1,750
Add for Door Louver	9 EA	250.00	2,250
Add for Bullet Resistant Door Assembly	2 EA	5,000.00	10,000

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 08 – OPENINGS</b>			
08 30 Specialty Doors & Frames			
08 40 Entrances and Storefronts			
Aluminum Framed Storefront Window Glazing	660 SF	85.00	56,100
Aluminum Framed Interior Storefront Glazing	330 SF	75.00	24,750
08 50 Windows			
Aluminum Framed Exterior Window Glazing	410 SF	70.00	28,700
HM Glazed Transaction Window, Bullet-Resistant	200 SF	250.00	50,000
08 70 Hardware			
Door Hardware - Per Leaf	93 EA	975.00	90,675
08 90 Louvers			
<b>TOTAL DIVISION 08 – OPENINGS</b>			<b>407,240</b>

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 09 – FINISHES</b>			
09 20 Plaster & Gypsum Board			
Exterior Walls			
Mtl Stud Exterior Wall w/ GB (1) Side, Densglass (1) Side, Insul	360 SF	7.75	2,790
Interior Walls			
Mtl Stud Chase/Furring Wall, GB (1) Side	9,810 SF	7.00	68,670
Mtl Stud Partition w/ GB Both Sides, Insul	14,200 SF	8.00	113,600
Add for Tile Backer	2,600 SF	3.75	9,750
Add for Bullet Resistant Panels	180 SF	110.00	19,800
09 30 Tiling			
Ceramic Tile Base	1,110 LF	12.00	13,320
Ceramic Floor Tile	2,880 SF	12.50	36,000
Ceramic Wall Tile	2,600 SF	11.00	28,600
09 50 Ceilings			
2x2 ACT	13,670 SF	4.75	64,933
GB Ceilings/Soffits	1,160 SF	9.50	11,020
Exposed - No Finish	5,840 SF	0.00	0
09 60 Flooring			
Carpet Tile	9,680 SF	4.50	43,560
Sealed Concrete	5,010 SF	1.25	6,263
Existing - No Work	3,100 SF	0.00	0

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 SPRING LAKE PARK CITY HALL RENOVATION/EXPANSION  
 SPRING LAKE PARK, MINNESOTA  
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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 09 – FINISHES</b>			
09 70 Wall Finishes			
Wall Base	2,500 LF	3.50	8,750
Acoustic Treatment Allowance	1 LS	5,000.00	5,000
09 90 Painting & Coating			
Paint GB Interior Walls	35,610 SF	0.85	30,269
Paint Interior of Exterior GB Wall	360 SF	0.85	306
Paint Gyp Board Ceilings/Soffits/Bulkheads	1,160 SF	1.00	1,160
Door & Frame Finish			
Paint/Stain Doors & Frames	93 EA	120.00	11,160
Paint HM Sidelights/Borrowed Lites	100 SF	3.50	<u>350</u>
<b>TOTAL DIVISION 09 – FINISHES</b>			<b>475,300</b>



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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 10 – SPECIALTIES</b>			
10 10 Information Specialties			
Code/Wayfinding Signage	20,670 SF	0.10	2,067
Interior Signage Allowance	1 LS	3,500.00	3,500
Exterior Building Signage Allowance	1 LS	10,000.00	10,000
10 20 Interior Specialties			
Toilet Accessories			
Grab Bars - Sets	8 EA	375.00	3,000
TP Dispenser	14 EA	90.00	1,260
Soap Dispenser	12 EA	95.00	1,140
Mirror	12 EA	125.00	1,500
Paper Towel Dispenser/Receptacle	12 EA	400.00	4,800
SN Receptacle	5 EA	90.00	450
Bath/Shower Accessories			
Grab Bars - Sets	2 EA	375.00	750
Shower Rod & Curtain	10 LF	10.00	100
Soap Dish	2 EA	65.00	130
Robe Hook	2 EA	65.00	130
Mop Shelf & Holder	2 EA	95.00	190
Corner Guards Allowance	30 EA	250.00	7,500
Metal Lockers	18 EA	400.00	7,200
Crew Lockers @ Squad Room	8 EA	3,500.00	28,000
Evidence Lockers/Shelving, Multiple Sizes	80 LF	500.00	40,000
Storage Shelving/Cabinets	100 LF	100.00	10,000
Operable Partition	300 SF	50.00	15,000
<b>TOTAL DIVISION 10 – SPECIALTIES</b>			<b>136,720</b>

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 11 – EQUIPMENT</b>			
11 13 Loading Dock Equipment			
11 20 Commercial Equipment			
11 40 Food Service Equipment			
11 50 Educational & Scientific Equipment			
11 70 Healthcare Equipment			
<b>TOTAL DIVISION 11 – EQUIPMENT</b>			<b>0</b>
 <b>DIVISION 12 – FURNISHINGS</b>			
12 20 Window Treatments Window Treatment Allowance	410 SF	8.50	3,485
12 30 Casework			
12 40 Furnishings & Accessories Recessed Entrance Mat w/ Frame	90 SF	25.00	2,250
<b>TOTAL DIVISION 12 – FURNISHINGS</b>			<b>5,740</b>

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 14 – CONVEYING EQUIPMENT</b>			
14 20 Elevators n/a			
<b>TOTAL DIVISION 14 – CONVEYING EQUIPMENT</b>			<b>0</b>
 <b>DIVISION 21 – FIRE SUPPRESSION</b>			
21 10 Water Based Fire-Suppression Systems Automatic Wet Pipe Sprinkler System w/ Main & Branch Piping & Heads	20,670 SF	3.50	72,350
Siamese Connection, Brass	1 EA	1,500.00	1,500
<b>TOTAL DIVISION 21 – FIRE SUPPRESSION</b>			<b>73,850</b>

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 22 – PLUMBING</b>			
22 05 Common Work For Plumbing			
22 07 Plumbing Insulation			
22 10 Plumbing Piping & Pumps			
Domestic CW, HWS/R Piping & Insulation	20,670 SF	3.50	72,350
Thermostatic Mixing Valves - Allowance	21 EA	715.00	15,020
Test, Sanitize & Identify Plumbing Systems	20,670 SF	0.25	5,170
22 13 Facility Sanitary Sewerage			
Below and Above Grade Sanitary Sewer & Vent Piping & Accessories	20,670 SF	2.50	51,680
Floor Drains w/ Trap & Trim	14 EA	450.00	6,300
Trap Primer	2 EA	110.00	220
Shower Drains w/ Trap & Trim	2 EA	785.00	1,570
22 14 Facility Storm Drainage			
22 15 Compressed Air Systems			
Compressed Air Equipment, Piping, Reels & Outlets - Allowance	1 LS	25,000.00	25,000
22 34 Gas Fired Domestic Water Heaters			
Natural Gas Fired Water Heater w/ Flue	1 EA	5,000.00	5,000

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 22 – PLUMBING</b>			
22 40 Plumbing Fixtures			
Water Closets	14 EA	1,700.00	23,800
Wall Carriers	14 EA	1,025.00	14,350
Urinals	5 EA	1,325.00	6,630
Wall Carriers	5 EA	570.00	2,850
Wall Hung Lavatory w/ Faucet	15 EA	975.00	14,630
Wall Carriers	15 EA	490.00	7,350
Lav-Guard Insulation Package	15 EA	115.00	1,730
Counter Mtd Single Basin Kitchen Sink w/ Faucet	1 EA	785.00	790
Counter Mtd Dbl Basin Kitchen Sink w/ Faucet	1 EA	950.00	950
Shower Head w/ Valve	2 EA	1,600.00	3,200
Janitor Mop Basin w/ Faucet, Floor Mtd	2 EA	750.00	1,500
Electric Water Cooler, SST Dual Level w/ Sensor	2 EA	5,500.00	11,000
<b>TOTAL DIVISION 22 – PLUMBING</b>			<b>271,090</b>

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 23 – HVAC</b>			
23 05 Common Work Results For HVAC Test & Balance - HVAC System	20,670 SF	0.50	10,340
23 07 HVAC Insulation <i>Included with Ductwork Below</i>			
23 08 HVAC Commissioning Contractor Participation	1 LS	7,400.00	7,400
23 09 Instrumentation & Controls for HVAC Systems DDC Controls	20,670 SF	5.50	113,690
23 11 Facility Natural Gas Piping Natural Gas Piping	20,670 SF	1.75	36,170
23 21 Hydronic Piping & Pumps			
23 30 HVAC Air Distribution Galvanized Ductwork and Insulation	20,670 SF	9.50	196,370
23 34 HVAC Fans General Exhaust Fans - Allowance	1 LS	6,000.00	6,000
23 36 Air Terminal Units VAV Boxes	20,670 SF	1.75	36,170

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 23 – HVAC</b>			
23 37 Air Outlets & Inlets Grilles, Registers, Diffusers & Dampers	20,670 SF	1.25	25,840
23 70 Central HVAC Equipment RTUs, Gas Fired, Htg/Cooling	4 EA	75,000.00	300,000
23 80 Decentralized HVAC Equipment Gas Fired Radiant Heaters	1 LS	10,000.00	10,000
Split System @ IT Room	1 EA	5,500.00	5,500
23 83 Snowmelt Systems n/a			
<b>TOTAL DIVISION 23 – HVAC</b>			<b>747,480</b>

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 26 – ELECTRICAL</b>			
26 05 Common Work Results For Electrical Commissioning of Electrical Systems	1 LS	3,100.00	3,100
Grounding, Bonding/ID/Labeling Systems	20,670 SF	0.25	5,168
26 10 Medium Voltage Electrical Distribution			
26 20 Low Voltage Electrical Transmission			
Relocate Switchgear, Extend Main Feed	1 LS	40,000.00	40,000
Distribution Bds/Panelboards/Xfmers/ATS	20,670 SF	3.50	72,345
HVAC Feeds to Rooftop (New) Devices	4 EA	2,000.00	8,000
Duplex, GFI, W/P Receptacles, Floor Boxes, Cord Reels, Disconnects & Motor Control	20,670 SF	1.50	31,005
Wall/Floor Penetrations - Fire Rated	8 EA	150.00	1,200
Mechanical & Appliance Connections	9 EA	150.00	1,350
Basic Materials - Branch Conduit, Boxes & Wire	20,670 SF	4.50	93,015
26 30 Facility Electrical Power Generating			
26 50 Lighting			
LED Troffer/Downlights/Strip Fixtures, Dim	20,670 SF	6.50	134,355
Wall Packs LED W/P	4 EA	475.00	1,900
Lighting Control Panel, BacNET	20,670 SF	1.50	<u>31,005</u>
<b>TOTAL DIVISION 26 – ELECTRICAL</b>			<b>422,440</b>



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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 27 – COMMUNICATIONS</b>			
27 20 Data Communications Voice/Data Systems			
Devices, Jacks, Backbone & F.O Cabling	20,670 SF	1.75	36,173
Communications Room Equipment & UPS	1 EA	15,000.00	15,000
27 40 Audio Visual Communications			
Rough-In Conduit & Boxes	20,670 SF	0.75	15,503
27 50 Distributed Communications & Monitoring Systems			
<b>TOTAL DIVISION 27 – COMMUNICATIONS</b>			<b>66,680</b>
<b>DIVISION 28 – ELECTRONIC SAFETY &amp; SECURITY</b>			
28 10 Electronic Access Control & Intrusion Detection			
Card Reader	14 EA	750.00	10,500
Dedicated Pathway & Cabling	20,670 SF	1.75	36,173
28 20 Electronic Surveillance			
Cameras	12 EA	1,250.00	15,000
Cabling Cat 6A (Data Rm to Cameras)	3,600 LF	2.50	9,000
Basic Materials Conduit, Boxes & J Hooks	20,670 SF	1.00	20,670
28 30 Electronic Detection & Alarm			
Addressable Fire Alarm System Complete	20,670 SF	2.25	46,508
<b>TOTAL DIVISION 28 – ELECTRONIC SAFETY &amp; SECURITY</b>			<b>137,850</b>

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 31 – EARTHWORK</b>			
31 10 Site Clearing			
Remove Landscaping Area Plantings, Rocks & Edging	1,755 SF	2.00	3,510
Remove Concrete Curb & Gutter	215 LF	12.00	2,580
Sawcut Paving	175 LF	12.00	2,100
Remove Concrete Sidewalk Paving	1,385 SF	1.50	2,078
Remove Concrete Fuel Island Slab	1,500 SF	2.50	3,750
Remove Bituminous Parking Lot Paving	2,810 SF	2.00	5,620
Remove Concrete Apron	500 SF	2.00	1,000
Remove Bollards	15 EA	400.00	6,000
Remove Fuel Pump	1 EA	500.00	500
Remove AG Fuel Tanks	2 EA	2,000.00	4,000
Remove Public Emergency Alert Siren & Pole	1 EA	500.00	500
Erosion Control Allowance	1 LS	750.00	750
31 20 Earth Moving			
Excavate Addition Foundations	666 CY	12.50	8,327
Backfill w/ Existing Material	833 CY	15.00	12,490
Regrade Disturbed Areas	1 LS	2,500.00	2,500
31 41 Shoring			
31 60 Special Foundations			
<b>TOTAL DIVISION 31 – EARTHWORK</b>			<b>55,710</b>

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**UNIT COSTS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL \$ AMOUNT
<b>DIVISION 32 – EXTERIOR IMPROVEMENTS</b>			
32 10 Bases, Ballasts, and Paving			
Concrete Curb & Gutter	200 LF	22.00	4,400
Concrete Sidewalk Paving	940 SF	6.50	6,110
Concrete Apron	425 SF	8.50	3,613
Bituminous Parking Lot Paving	427 SY	36.00	15,380
Parking Striping	440 LF	0.40	176
Painted "No Parking" Symbol	2 EA	250.00	500
Painted ADA Symbol	4 EA	100.00	400
32 30 Site Improvements			
Concrete Filled Pipe Bollards	10 EA	975.00	9,750
32 90 Planting			
Restore Landscaping @ Bldg Perimeter	1 LS	5,000.00	<u>5,000</u>
<b>TOTAL DIVISION 32 – EXTERIOR IMPROVEMENTS</b>			<b>45,330</b>

**DIVISION 33 – UTILITIES**

33 05 Common Work For Utilities			
33 10 Water Utilities			
33 30 Sanitary Sewerage Utilities			
33 40 Storm Drainage Utilities			
33 70 Electrical Utilities			
33 80 Communications Utilities			<hr/>
<b>TOTAL DIVISION 33 – UTILITIES</b>			<b>0</b>



# Memorandum

**To:** Mayor Nelson and Members of the City Council

**From:** Daniel R. Buchholtz, MMC, Administrator, Clerk/Treasurer

**Date:** September 6, 2023

**Subject:** 2024 Budget Update

In a normal year, the 2024 General Fund budget would be finalized and the proposed property tax levy would be set. With union contracts expiring at the end of the year and the Legislature’s change to the M.S. § 121A.58 and M.S. § 121A.582, there is significant uncertainty.

Due to the tentative settlement of the LELS Local #7 (Patrol) contract, staff has additional information needed to provide an updated version of the proposed 2024 budget.

If the SRO contract is not renewed, here is what the proposed 2024 budget looks like:

Revenue		Expenditure	
Tax Levy	\$ 3,823,887	Council	\$ 76,575
Intergovernmental Revenue	921,720	Administration	543,664
Permits and Licenses	160,289	Assessor	39,140
Charges for Current Services	197,462	Auditor	13,400
Miscellaneous Revenues	71,606	I.T.	64,928
Interfund Transfers	156,502	Legal	122,500
		Engineer	6,500
		Planning & Zoning	2,500
		Government Buildings	132,050
		Police	2,186,375
		Fire	357,317
		Code Enforcement	318,107
		Streets	355,117
		Recreation	473,253
		Parks	400,440
		Miscellaneous	239,600
<b>TOTAL</b>	<b>\$ 5,331,466</b>	<b>TOTAL</b>	<b>\$ 5,331,466</b>

This budget accounts for the current SRO to be redeployed to patrol coverage.

If the Legislature amends the law to facilitate the renewal of the SRO contract with Spring Lake Park Schools, this is what the proposed 2024 budget will look like:

Revenue		Expenditure	
Tax Levy	\$ 3,823,887	Council	\$ 76,575
Intergovernmental Revenue	921,720	Administration	543,664
Permits and Licenses	160,289	Assessor	39,140
Charges for Current Services	197,462	Auditor	13,400
Miscellaneous Revenues	166,955	I.T.	64,928
Interfund Transfers	156,502	Legal	122,500
		Engineer	6,500
		Planning & Zoning	2,500
		Government Buildings	132,050
		Police	2,281,724
		Fire	357,317
		Code Enforcement	318,107
		Streets	355,117
		Recreation	473,253
		Parks	400,440
		Miscellaneous	239,600
<b>TOTAL</b>	<b>\$ 5,426,815</b>	<b>TOTAL</b>	<b>\$ 5,426,815</b>

This budget includes the addition of the ninth patrol officer to the Police Department.

Based on the no SRO scenario, staff would recommend setting the preliminary levy as follows:

Property Tax Levy	2023	2024 Orig.	2024 Rev.	% Change
General Revenue	\$ 3,685,047	\$ 3,809,982	\$ 3,823,887	3.77%
Capital Improvement Plan Levy	\$ 176,500	\$ 185,325	\$ 185,325	5.00%
2022 Street Improvement Project Levy	\$ 24,078	\$ 24,078	\$ 24,078	0.00%
Debt Service Levy	\$ 80,000	\$ 80,000	\$ 80,000	0.00%
<b>Total Tax Levy</b>	<b>\$ 3,965,625</b>	<b>\$ 4,099,385</b>	<b>\$ 4,113,290</b>	<b>3.72%</b>

The proposed General Revenue levy is \$13,905 higher than what was included in the original budget proposal. This is due to a combination of the loss of revenue from the SRO contract and slightly higher than anticipated labor costs associated with the tentative agreement.

Once the City Council sets the preliminary tax levy, the final tax levy must be the same or lower than the preliminary levy.

If you have any questions, please do not hesitate to contact me at 763-784-6491.



# Memorandum

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**To:** Mayor Nelson and Members of the City Council  
**From:** Daniel R. Buchholtz, MMC, Administrator, Clerk/Treasurer  
**Date:** September 7, 2023  
**Subject:** Carport Discussion

Councilmember Goodboe-Bisschoff asked that a discussion about carports be added to the work session agenda.

I received additional clarification from Councilmember Goodboe-Bisschoff regarding her discussion request. An excerpt of her email is included with this memorandum.

A carport is a covered structure designed to provide shelter for vehicles, typically automobiles. Carports are typically open-sided or partially enclosed and are usually attached to a house or built as a freestanding unit. They are primarily intended to protect vehicles from various weather elements such as rain, snow, sunlight, and hail, providing a level of protection while allowing for ventilation and easy access. Carports come in various designs, materials, and sizes, making them a flexible and cost-effective option for vehicle protection compared to fully enclosed garages. As with any structure, carports may not blend well with existing architecture in some neighborhoods, leading to potential visual clutter and a less cohesive streetscape. In addition, if they are not properly cared for, they could become an eyesore and decrease property values.

Carports are permitted in the City, but they must be constructed in accordance with the State Building Code, meet all setbacks, and have an approved surface underneath to accommodate parking a vehicle underneath. This means that the metal carport kits sold at home improvement stores are not allowed in the City.

The carport proposed by the resident would be permitted under the Zoning Code, so long as the requirements outlined under the zoning code are met.

If you have any questions, please do not hesitate to contact me at 763-784-6491.

## Excerpt of Email from Councilmember Goodboe-Bisschoff

**From:** Barbara Goodboe-Bisschoff <bisschoff@comcast.net>

**Sent:** Thursday, September 7, 2023 3:45 AM

**To:** Daniel Buchholtz <dbuchholtz@slpmn.org>

**Subject:** Carports

Hi Dan,

The gentleman who asked about the carport has not contacted me since we spoke during 'Nite to Unite,' so if you need to move this to a later workshop, go ahead. He already has a garage, but felt adding this unto the side of his home would be a great addition. On the plus side, carports are less expense to construct than garages and can be used during inclement weather to entertain in. Since SLP wishes to remain its own unique entity, having a few of these around town would add to that. So many new developments have the sameness element about them, like a row of army barracks. On the negative side, they could also become a dumping area for the homeowner. I would never be in favor of the shed-type kit that is for sale, but something attached to the home or garage and anchored to a ground cement slab. There are many great looking designs including those that resemble pergolas more than carports. The element of design should always be left up to the discretion of the city. Thank you. See you next week. Barbara



# Memorandum

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**To:** Mayor Nelson and Members of the City Council

**From:** Daniel R. Buchholtz, MMC, Administrator, Clerk/Treasurer

**Date:** September 7, 2023

**Subject:** Emerald Ash Borer Discussion

Mayor Nelson asked that the City Council discuss the City's response to Emerald Ash Borer.

Emerald Ash Borer (EAB) is a small, metallic green beetle native to Asia that is about the size of a grain of rice. Its larvae are creamy white and found beneath the bark of ash trees. The larvae feed on the inner bark of ash trees, disrupting the tree's ability to transport water and nutrients, leading to the tree's decline and eventual death. Since its discovery in the United States, EAB has killed hundreds of millions of ash trees, creating significant ecological, economic and aesthetic implications for infested areas.

EAB was first confirmed in the Twin Cities metropolitan area in 2009. Since its identification, measures have been undertaken to manage the spread and impact of EAB. These measures include public awareness and education, tree inventory and monitoring, chemical treatments, biological controls, tree removal and replacement, and firewood quarantines.

Actions staff is taking include:

- Working on a grant application to the DNR to fund a tree inventory of all trees in the City's parks and right of ways. This tree inventory is important to identify the scope of the problem and the resources necessary to address it. The inventory will provide conditions of the trees to inform which ones we should focus on cutting down and which ones are worth treating. If we are unsuccessful with our application to the DNR, we will apply to use funds from the Anoka County HRA for the inventory.
- Updating the City's nuisance code to include EAB as a tree disease so Code Enforcement can work with private property owners to abate dead/dying trees.
- Reaching out to Rainbow Tree Care about a partnership for treatment of public trees and providing discounts to residents for private trees. We are waiting for them to send additional information about the program.
- Exploring utilizing the City's HRA dollars with Anoka County to fund a grant/low interest loan program to finance tree removal and replacement on private property.
- Dedicating \$50,000 in the 2024 General Fund budget to fund Forestry activities related to EAB.

If you have any questions, please do not hesitate to contact me at 763-784-6491.



# City of Spring Lake Park

## Statement of Values

### Preamble:

The proper operation of democratic government requires that decision-makers be independent, impartial and accountable to the people they serve. The City of Spring Lake Park has adopted this Statement of Values to promote and maintain the highest standards of personal and professional conduct in the City's government. All elected and appointed officials are required to subscribe to this statement, understand how it applies to their specific responsibilities and practice its 9 core values in their work. Because we seek public confidence in the City's services and public trust of its decision-makers, our decisions and our work must meet the most demanding ethical standards and demonstrate the highest levels of achievement in following this statement.

### The Values:

As a representative of the City of Spring Lake Park,

1. I serve the public interest.
2. I fulfill the duties and responsibilities of holding public office.
3. I am ethical.
4. I am professional.
5. I am fiscally responsible.
6. I am conscientious.
7. I communicate effectively.
8. I am collaborative.
9. I am forward thinking.

### Value examples/expressions:

- 1. I serve the public interest. In practice this value means that:**
  - a. I provide courteous, equitable, and prompt service to everyone.
  - b. I am attuned to, and care about, the needs and issues of citizens, public officials, and city workers.
  - c. I am interested, engaged, and responsive in my interactions with constituents.
  - d. I recognize and support the public's right to know the public's business.
  
- 2. I fulfill the duties and responsibilities of holding public office. In practice this value means that:**
  - a. I observe the highest standards of integrity in my official acts and undertake my responsibilities for the benefit of the greater public good.
  - b. I faithfully discharge the duties of my office regardless of my personal considerations, recognizing that the public interest is my primary concern.
  - c. I uphold the Constitution of the United States and the Constitution of the State of Minnesota and carry out impartially the laws of the nation, state, and municipality and thus foster respect for all government.

- d. I comply with both the letter and the spirit of the laws and policies affecting operations of the City.
- e. I recognize my obligation to implement the adopted goals and objectives of the City in good faith, regardless of my personal views.
- f. I conduct myself in both my official and personal actions in a manner that is above reproach.
- g. I do not use my position to secure for myself or others special privileges or exemptions that are different from those available to the general public.
- h. I understand and abide by the respective roles and responsibilities of elected and appointed officials and city staff and will not undermine them in their work.
- i. I am independent, impartial, and fair in my judgment and actions.

**3. I am ethical. In practice this value means that:**

- a. I am trustworthy, acting with the utmost integrity and moral courage.
- b. I am truthful, do what I say I will do, and am reliable.
- c. I am accountable for my actions and behavior and accept responsibility for my decisions.
- d. I make impartial decisions, free of influence from unlawful gifts, narrow political interests, and financial and other personal interests that impair my independence of judgment or action.
- e. I am fair, distributing benefits and burdens according to consistent and equitable criteria.
- f. I oppose all forms of harassment and unlawful discrimination.
- g. I extend equal opportunities and due process to all parties in matters under consideration.
- h. I show respect for confidences and confidential information.
- i. I avoid giving the appearance of impropriety and of using my position for personal gain.

**4. I am professional. In practice this value means that:**

- a. I apply my knowledge and expertise to my assigned activities and to the interpersonal relationships that are part of my job in a consistent, confident, competent, and productive manner.
- b. I approach my job and work-related relationships with a positive attitude, contributing to a supportive, respectful, and non-threatening work environment.
- c. I keep my professional knowledge and skills current and growing.
- d. I am respectful of all city staff, officials, volunteers, and others who participate in the City's government.

**5. I am fiscally responsible. In practice this value means that:**

- a. I make decisions after prudent consideration of their financial impact, taking into account the long-term financial needs of the City, especially its financial stability.
- b. I demonstrate concern for the proper use of City assets (e.g., personnel, time, property, equipment, funds), follow established procedures, and do not use public resources for personal gain.
- c. I make decisions that seek to preserve the financial capacity of the City to provide programs and services for City residents.
- d. I provide full disclosure of any potential financial or other private conflict of interest. I abstain from participating in the discussion and vote on these matters.
- e. I prevent misuse of public funds by establishing, maintaining, and following strong fiscal and management controls.
- f. I report any misuse of public funds of which I am aware.

**6. I am conscientious. In practice this value means that:**

- a. I act in an efficient manner, making decisions and recommendations based upon research and facts, taking into consideration short and long term goals.
- b. I follow through in a responsible way, keeping others informed, and responding in a timely fashion.
- c. I am respectful of established City processes and guidelines.
- d. I prioritize my duties so that the work of the City may move forward.
- e. I prepare for all meetings by reviewing any materials provided ahead of time. When I have materials to contribute, I make sure all others involved have ample time to review these materials prior to the meeting.
- f. I attentively listen to the discussions and presentations that are taking place during the City Council meetings, and will present my opinions in a respectful and constructive manner.
- g. I commit to abstaining from substances that impair my judgment and cognitive functions during and immediately before official city events and meetings.

**7. I communicate effectively. In practice this value means that:**

- a. I convey the City's care for and commitment to its citizens.
- b. I communicate in various ways that I am approachable, open-minded, and willing to participate in dialog.
- c. I engage in effective two-way communication by listening carefully, asking questions, and responding appropriately which adds value to conversations.
- d. I do not interfere with the orderly conduct of meetings by interrupting others or making personal comments not germane to the business at hand.
- e. I follow up on inquiries in a timely manner.
- f. I encourage and facilitate citizen involvement in policy decision-making.
- g. I am respectful in disagreements and contribute constructively to discussions on the issue.

**8. I am collaborative. In practice this value means that:**

- a. I act in a cooperative manner with groups and other individuals, working together in a spirit of tolerance and understanding to accomplish common goals.
- b. I share information with others in a timely manner so that, together, we can make informed decisions.
- c. I work towards consensus building and gain value from diverse opinions.
- d. I accomplish the goals and responsibilities of my individual position, while respecting my role as a member of a team.

**9. I am forward thinking. In practice this value means that:**

- a. I promote intelligent, proactive, and thoughtful innovation in order to advance the City's policy agenda and provide City services while considering the broader regional, state-wide, national, and international implications of the City's decisions and issues.
- b. I maintain consistent standards, but am also sensitive to the need for compromise, creative problem solving, and making improvements when appropriate.
- c. I am open to new ideas and processes, adopting them as they conserve resources and provide efficient and effective service.
- d. I consider the potential long-term consequences and implications of my words, actions and inactions.

Adopted by the Spring Lake Park City Council on this 16th day of January, 2018.

Amended by the Spring Lake Park City Council on March 6, 2023 and September \_\_\_\_, 2023.